



NOTICE OF AN APPLICATION FOR A PLANNING PERMIT

The land affected by the application is located at:	58-60 Mortlake Rd WARRNAMBOOL VIC 3280
The application is for a permit to:	Use and development of land for a place of worship and the display of business identification signage
The applicant for the permit is:	Myers Planning Group
The application reference number is:	PP2020-0109
You may look at the application and any documents that support the application at the office of the responsible authority:	Warrnambool Civic Centre- 25 Liebig Street WARRNAMBOOL 3280 Or online at: www.warrnambool.vic.gov.au/advertised-planningapplications
For further reference please contact:	Planning Support Telephone: 03 5559 4800 Email: planning@warrnambool.vic.gov.au

Any person who may be affected by the granting of the permit may object or make other submissions to the Responsible Authority (Warrnambool City Council).

An objection must * **be made to the Responsible Authority in writing**
* **include the reasons for the objection, and**
* **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

If you object, the Responsible Authority will tell you its decision.

Objections/Submissions are accepted by:

- post to Town Planning Office, Warrnambool City Council, PO Box 198 Warrnambool 3280
- in person at the Warrnambool Civic Centre, 25 Liebig Street, Warrnambool
- submitting an 'Objection to grant a Planning Permit' form available from www.warrnambool.vic.gov.au Click on *Property – Planning Permits - Objection to grant a Planning Permit form*
- email to planning@warrnambool.vic.gov.au

The Responsible Authority will not decide on the application before:	20 November 2020
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ADVERTISED



WARRNAMBOOL
CITY COUNCIL

Our Ref: PP2020-0109

05/11/2020

To the Occipuer
46 Mortlake Rd
WARRNAMBOOL VIC 3280

Dear Sir/Madam,

Planning Application Number: PP2020-0109
Use and development of land for a place of worship and the display of business
identification signage
58-60 Mortlake Rd WARRNAMBOOL VIC 3280

Please be advised that previous correspondence in regard to the abovementioned application dated 2/11/2020 incorrectly referred to the 'alteration of an access to a road in a Road Zone Category 1'. Construction of a new access to Mortlake Road is not proposed as part of the application.

An amended description of the proposal is outlined above and in the enclosed 'Notice of an Application for Planning Permit'.

You may object to the application, or make other written submissions in respect of the proposal. All objections/submissions must be made in writing and must be lodged with Council.

Please note that submissions are public documents and may be viewed by others.

Council will not decide on the Application before the date specified on the enclosed 'Notice of an Application for Planning Permit'.

Any queries regarding this matter should be directed to Planning Support on 03 5559 4800.

Yours faithfully,

James Phillips
Coordinator
CITY DEVELOPMENT
Encl.

Civic Centre 25 Liebig Street
Warrnambool Victoria Australia
PO Box 198 Warrnambool VIC 3280

Telephone (03) 5559 4800
Facsimile (03) 5559 4900
Ausdoc DX 28005

Website: www.warrnambool.vic.gov.au
ABN 44 594 246 321

From www.planning.vic.gov.au at 02 November 2020 10:10 AM

PROPERTY DETAILS

Address: **58-60 MORTLAKE ROAD WARRNAMBOOL 3280**
 Lot and Plan Number: **Lot 9 PS402585**
 Standard Parcel Identifier (SPI): **9\PS402585**
 Local Government Area (Council): **WARRNAMBOOL**
 Council Property Number: **136643**
 Planning Scheme: **Warrnambool**
 Directory Reference: **Vicroads 515 M5**

www.warrnambool.vic.gov.au

[Planning Scheme - Warrnambool](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**
 Urban Water Corporation: **Wannon Water**
 Melbourne Water: **Outside drainage boundary**
 Power Distributor: **POWERCOR**

[View location in VicPlan](#)

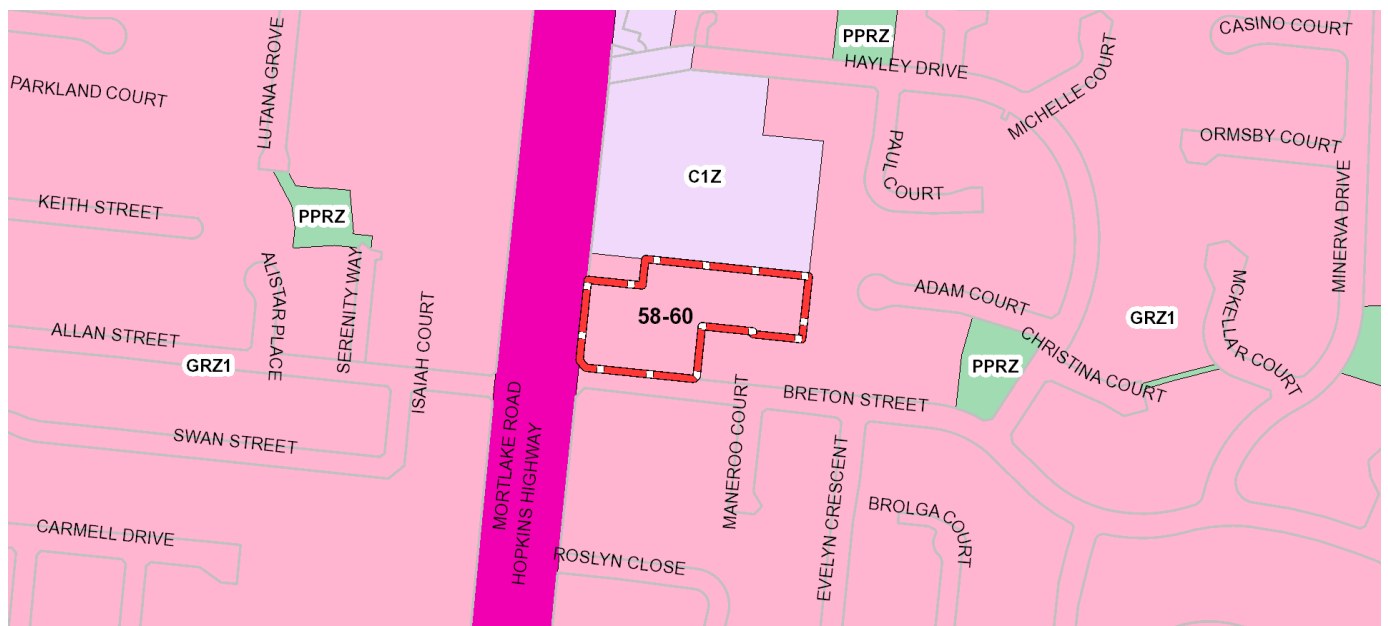
STATE ELECTORATES

Legislative Council: **WESTERN VICTORIA**
 Legislative Assembly: **SOUTH-WEST COAST**

Planning Zones

[GENERAL RESIDENTIAL ZONE \(GRZ\)](#)

[GENERAL RESIDENTIAL ZONE - SCHEDULE 1 \(GRZ1\)](#)



0 ————— 150 m

C1Z - Commercial 1

GRZ - General Residential

PPRZ - Public Park and Recreation

RDZ1 - Road-Category 1

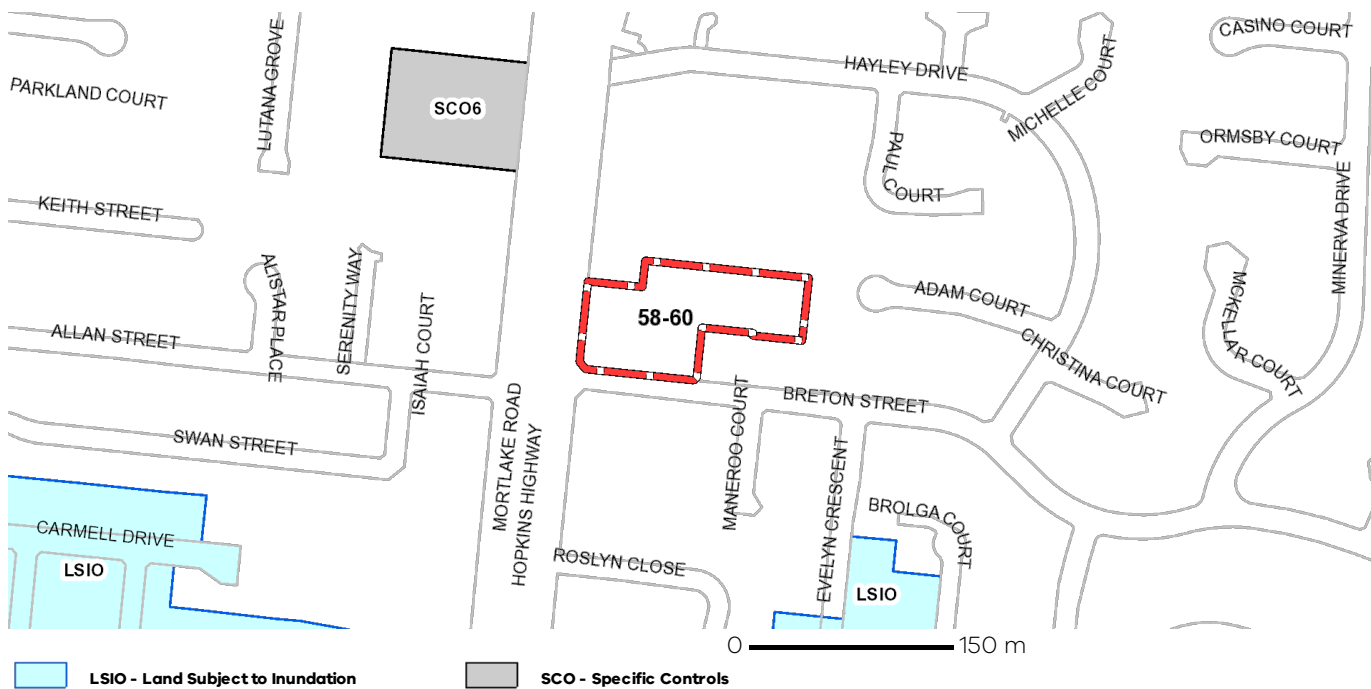
Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

Planning Overlay

None affecting this land - there are overlays in the vicinity

[LAND SUBJECT TO INUNDATION OVERLAY \(LSIO\)](#)

[SPECIFIC CONTROLS OVERLAY \(SCO\)](#)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

Areas of Aboriginal Cultural Heritage Sensitivity

All or part of this property is an 'area of cultural heritage sensitivity'.

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

Under the Aboriginal Heritage Regulations 2018, 'areas of cultural heritage sensitivity' are one part of a two part trigger which require a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One or two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licences and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to <http://www.aav.nrms.net.au/aavQuestion1.aspx>

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, can also be found here - <https://www.aboriginalvictoria.vic.gov.au/aboriginal-heritage-legislation>



Further Planning Information

Planning scheme data last updated on 28 October 2020.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.

This report provides information about the zone and overlay provisions that apply to the selected land.

Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council

or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**.

It does not include information about exhibited planning scheme amendments, or zonings that may affect the land.

To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

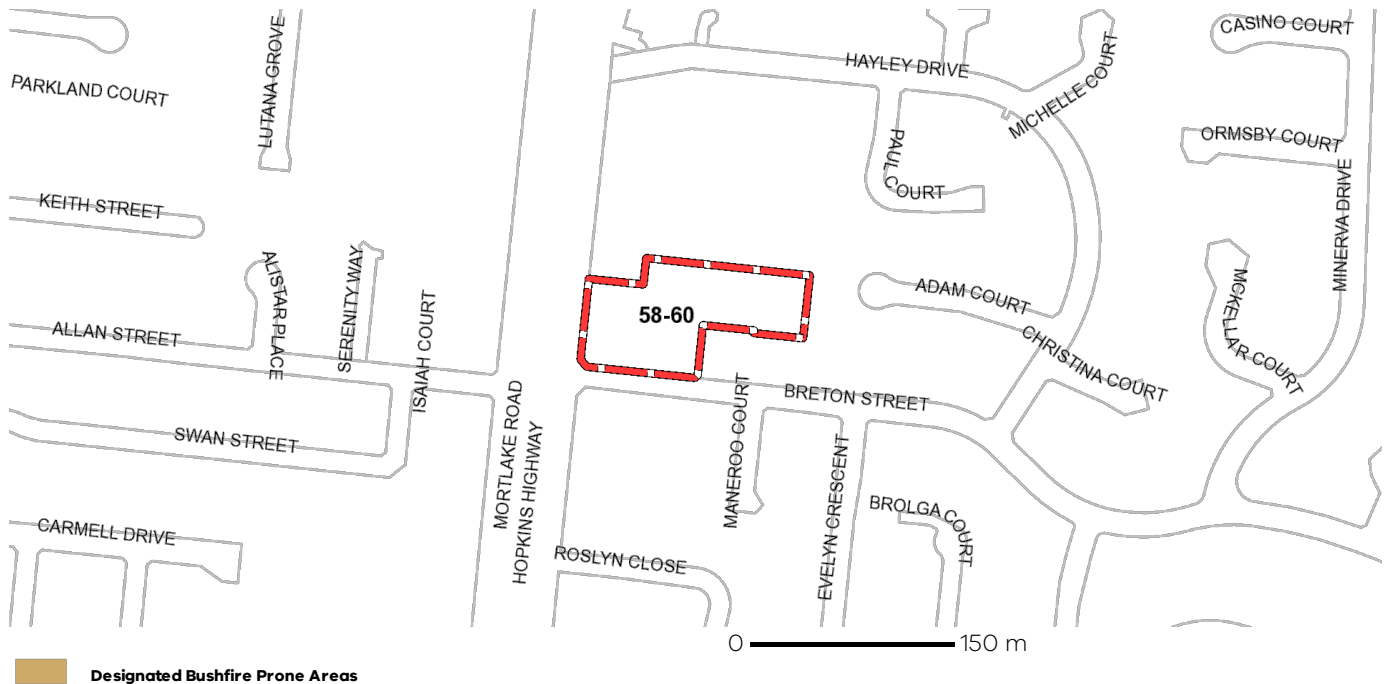
To view planning zones, overlay and heritage information in an interactive format visit

<https://mapshare.maps.vic.gov.au/vicplan>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

Designated Bushfire Prone Areas

**This property is not in a designated bushfire prone area.
No special bushfire construction requirements apply. Planning provisions may apply.**



Designated bushfire prone areas as determined by the Minister for Planning are in effect from 8 September 2011 and amended from time to time.

The Building Regulations 2018 through application of the Building Code of Australia, apply bushfire protection standards for building works in designated bushfire prone areas.

Designated bushfire prone areas maps can be viewed on VicPlan at <https://mapshare.maps.vic.gov.au/vicplan> or at the relevant local council.

Note: prior to 8 September 2011, the whole of Victoria was designated as bushfire prone area for the purposes of the building control system.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>

Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>

For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>

Application for Planning Permit

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#).

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) are mandatory and must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

Planning Enquiries
Phone: 03 5559 4800
Web: <http://www.warrnambool.vic.gov.au>

Clear Form

The Land **i**

① Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 58-60	St. Name: Mortlake Road
Suburb/Locality: Warrnambool		Postcode: 3280

Formal Land Description *

Complete either A or B.

⚠ This information can be found on the certificate of title.

A Lodged Plan Title Plan Plan of Subdivision

OR

B

If this application relates to more than one address, please click this button and enter relevant details.

Add Address

The Proposal

⚠ You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

② **For what use, development or other matter do you require a permit? ***



If you need help about the proposal, read:

[How to Complete the Application for Planning Permit Form](#)

Select the focus of this application and describe below:

Use and Development of land for a place of worship and display of business identification signage.

📎 Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

③ **Estimated cost of development for which the permit is required ***




⚠ You may be required to verify this estimate.

Insert '0' if no development is proposed (eg. change of use, subdivision, removal of covenant, liquor licence)

Existing Conditions

4 Describe how the land is used and developed now *

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

 Provide a plan of the existing conditions. Photos are also helpful.

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Title Information


5 Encumbrances on title *

If you need help about the title, read:

[How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

Applicant and Owner Details

6 Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Please provide at least one contact phone number *

Name:			
Title:	First Name:	Surname:	
Organisation (if applicable):			
Postal Address:		If it is a P.O. Box, enter the details here:	
Unit No.:	St. No.:	St. Name:	
Suburb/Locality:		State:	Postcode:
Contact person's details* Same as applicant (if so, go to 'contact information') <input type="checkbox"/>			
Name:			
Title:	First Name:	Surname:	
Organisation (if applicable):			
Postal Address:		If it is a P.O. Box, enter the details here:	
Unit No.:	St. No.:	St. Name:	
Suburb/Locality:		State:	Postcode:
Contact information			
Business Phone:		Email:	
Mobile Phone:		Fax:	

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

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Name: Same as applicant

Title: First Name: Surname:

Organisation (if applicable):

Postal Address: If it is a P.O. Box, enter the details here:

Unit No.: St. No.: St. Name:

Suburb/Locality: State: Postcode:

Owner's Signature (Optional): Date:
day / month / year

Declaration

⑦ This form must be signed by the applicant *

⚠ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature: Date:
day / month / year

Need help with the Application?

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If you need help to complete this form, read [How to complete the Application for Planning Permit form](#)
General information about the planning process is available at www.dpcd.vic.gov.au/planning

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

8 **Has there been a pre-application meeting with a Council planning officer?**

No Yes

If 'yes', with whom?:

Date:

day / month / year

Checklist

9 **Have you:**

Filled in the form completely?

Paid or included the application fee?



Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

Provided all necessary supporting information and documents?

A full, current copy of title information for each individual parcel of land forming the subject site

A plan of existing conditions.

Plans showing the layout and details of the proposal

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).

Completed the relevant Council planning permit checklist?

Signed the declaration (section 7)?

Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Warrnambool City Council
PO Box 198 Warrnambool VIC 3280
25 Liebig Street Warrnambool VIC 3280

Contact information:

Telephone: 61 03 5559 4800

Email: wbool_city@warrnambool.vic.gov.au

DX: Ausdoc 28005

Deliver application in person, by fax, or by post:

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

Save Form:

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.

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VOLUME 10346 FOLIO 282

Security no : 124082625642X
Produced 17/04/2020 11:17 AM

LAND DESCRIPTION

Lot 9 on Plan of Subdivision 402585C.
PARENT TITLE Volume 09814 Folio 250
Created by instrument PS402585C 15/09/1997

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
THE SALVATION ARMY (VICTORIA) PROPERTY TRUST of 95-99 RAILWAY ROAD BLACKBURN
VIC 3130
AM892407N 28/06/2016

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS402585C FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 58-60 MORTLAKE ROAD WARRNAMBOOL VIC 3280

DOCUMENT END



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Document Identification	AM892407N
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Transfer of Land

Section 45 Transfer of Land Act 1958

The information from this form under statutory authority and put

AM892407N

28/06/2016 \$1369 45



1. Land/s

Land Title

Volume 10346 Folio 282

2. Estate and Interest

FEE SIMPLE

3. Transferor/s

Transferor

Name KR & S BARTON NOMINEES PTY LTD

ACN 0 5 9 8 3 8 3 5 4

4. Transferee/s

Transferee

Name THE SALVATION ARMY (VICTORIA) PROPERTY TRUST (ARBN 143 615 169 - INCORPORATED IN VICTORIA)

ABN 6 4 4 7 2 2 3 8 8 2 2 4 4

5. Manner of Holding

SOLE PROPRIETOR

6. Address/es of Transferee/s

Address of Transferee

Unit Street No 95-99

Street Name RAILWAY

Street Type ROAD

Locality BLACKBURN

State VIC Postcode 3130

7. Directing Party

NONE

8. Consideration

\$2,150,000

9. Signing

The Transferor at the direction of the directing party (if any) transfers to the transferee the estate and interest specified in the land described for the consideration expressed and subject to the encumbrances affecting the land including any created by dealings lodged for registration before the lodging of this transfer.

Transferor

Executed for KR & S Barton Nominees Pty Ltd (ACN 059 838 354) by being signed by the persons authorised to sign for the company:

Director

Full Name: KEVIN ROY BARTON

Usual Address: 6 STANLEY ST. WILLIAMSTOWN VIC 3016

Director/Secretary

Full Name: ROB URRUMART

Usual Address: 8 THE HUBERT WOODBRO VIC 3281

Signature of Director

Signature of Director/Secretary

ADVERTISED AD1892407N

Transfer of Land

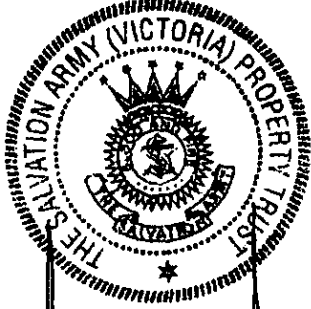
Section 45 Transfer of Land Act 1958

The information from this form is under statutory authority and is published

28/06/2016 \$1369 45

Transferee

THE COMMON SEAL of THE SALVATION ARMY (VICTORIA) PROPERTY TRUST (ARBN 143 615 169 – INCORPORATED IN VICTORIA) was hereunto affixed pursuant to a resolution of the Trustees in the presence of:



Signature of Trustee

Full Name: **Bruce Alan Stevens**
Usual Address:

Signature of Trustee

Full Name: **Kelvin Leslie Merrett**
Usual Address:

You may lodge this form in two ways:

- In person**
Land Registration Services
Land Victoria
Level 9, 570 Bourke Street
Melbourne Vic 3000
- By mail (extra fee applies)**
Land Registration Services
Land Victoria
PO Box 500
East Melbourne Vic 8002
or DX 250639 Melbourne

10. Date

Date: (DD/MM/YYYY) **26/05/2016**

11. Lodging Party

Customer Code: 1024D
Reference: GMP:GLC 160179

Duty Use Only



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Department of Environment, Land, Water & Planning

Owners Corporation Search Report

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**OWNERS CORPORATION
PLAN NO. PS402585C**

The land in PS402585C is affected by 1 Owners Corporation(s)

Land Affected by Owners Corporation:

Common Property, Lots 1 - 8.

Limitations on Owners Corporation:

Unlimited

Postal Address for Services of Notices:

C/- HOMES 2000 VICTORIA PTY LTD 123 TIMOR STREET WARRNAMBOOL VIC 3280

PS402585C 15/09/1997

Owners Corporation Manager:

NIL

Rules:

Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

Owners Corporation Rules:

NIL

Additional Owners Corporation Information:

NIL

Notations:

NIL

Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Common Property	0	0
Lot 1	100	100
Lot 2	100	100
Lot 3	100	100
Lot 4	100	100
Lot 5	100	100



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Department of Environment, Land, Water & Planning

Owners Corporation Search Report

Produced: 17/04/2020 11:20:17 AM

OWNERS CORPORATION
PLAN NO. PS402585C

Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Lot 6	100	100
Lot 7	100	100
Lot 8	100	100
Total	800.00	800.00

From 31 December 2007 every Body Corporate is deemed to be an Owners Corporation. Any reference to a Body Corporate in any Plan, Instrument or Folio is to be read as a reference to an Owners Corporation.

Statement End.



Imaged Document Cover Sheet

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PLAN OF SUBDIVISION

STAGE 1 TO USE ONLY PLAN NUMBER
 EDITION 1 OF 5 402585C

ADVERTISED

LOCATION OF LAND

COUNCIL CERTIFICATION AND ENDORSEMENT

PARISH: WANGOOM
TOWNSHIP: ———
SECTION: A
CROWN ALLOTMENT: 2 (PART)
CROWN PORTION: ———
LTO BASE RECORD: 3729 WANGOOM (21)
TITLE REFERENCES: V. 9814 F. 250
LAST PLAN REFERENCE/S: LP 211680 (LOT 5)
POSTAL ADDRESS: 58-60 HOPKINS HIGHWAY,
 (At time of subdivision) WARRNAMBOOL, 3280.
AMG Co-ordinates E 630 410 ZONE: 54
 (of approx centre of land in plan) N 5751 960

COUNCIL NAME: WARRNAMBOOL CITY COUNCIL REF: S33/96
 1. This plan is certified under Section 6 of the Subdivision Act 1988.
 2. This plan is certified under Section 11(7) of the Subdivision Act 1988.
 Date of original certification under Section 6. / /
 3. This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.
 OPEN SPACE
 (i) A requirement for public open space under Section 18 of the Subdivision Act 1988 has/has not been made.
 (ii) The requirement has been satisfied.
 (iii) The requirement is to be satisfied in Stage
 Council Delegate
 Council Seal
 Date 7 / 1 / 1997
 Re-certified under Section 11(7) of the Subdivision Act 1988.
 Council Delegate
 Council Seal
 Date / /

VESTING OF ROADS AND/OR RESERVES

IDENTIFIER	COUNCIL/BODY/PERSON
NIL	NIL

NOTATIONS

STAGING This is not a staged subdivision.
 Planning permit No. 3124 - 96

DEPTH LIMITATION DOES NOT APPLY

SURVEY THIS PLAN IS NOT BASED ON SURVEY
 THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No.(s) 389, 391
 IN PROCLAIMED SURVEY AREA No. 23

EASEMENT INFORMATION

LEGEND A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	PARTY WALL	0.12	THIS PLAN	LAND MARKED E-2 ON THE RELEVANT ABUTTING LOT ON THIS PLAN. LAND MARKED E-1 ON THE RELEVANT ABUTTING LOT ON THIS PLAN. LAND MARKED E-4 ON THE RELEVANT ABUTTING LOT ON THIS PLAN. LAND MARKED E-3 ON THE RELEVANT ABUTTING LOT ON THIS PLAN.
E-2	PARTY WALL	0.12	THIS PLAN	
E-3	PARTY WALL	0.06	THIS PLAN	
E-4	PARTY WALL	0.06	THIS PLAN	
E-5	DRAINAGE	2	LP 201582U	LOTS ON LP 201582U LOTS ON LP 145193 LOTS ON LP 201582U LOTS ON LP 211680N LOTS 1 TO 8 ON THIS PLAN LOTS 1 TO 8 (INCLUSIVE) AND COMMON PROPERTY ON THIS PLAN. SOUTH WEST WATER AUTHORITY
E-6	SEWERAGE	2	LP 145193	
E-7	DRAINAGE & SEWERAGE	3	LP 201582U	
E-8	DRAINAGE	2	LP 211680N	
E-9, E-11	SEWERAGE	SEE DIAG.	THIS PLAN	
E-10, E-11	WAY	SEE DIAG.	THIS PLAN	
E-6	SEWERAGE	2	THIS PLAN	

LTO USE ONLY

STATEMENT OF COMPLIANCE/
 EXEMPTION STATEMENT

RECEIVED

DATE: 12 / 9 / 97

LTO USE ONLY

PLAN REGISTERED

TIME 4.00 PM
 DATE 15 / 9 / 97

[Signature]
 Assistant Registrar of Titles

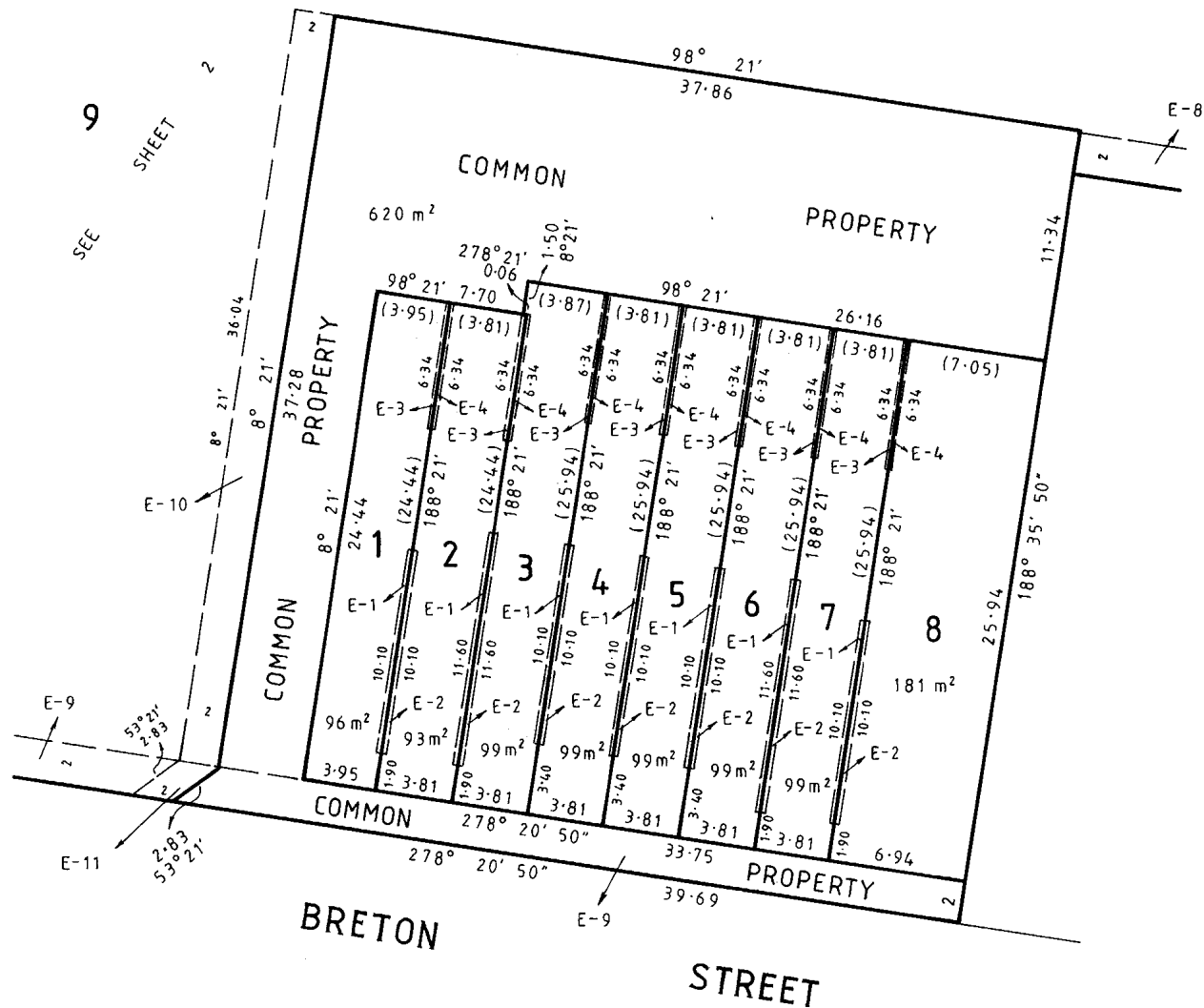
SHEET 1 OF 4 SHEETS

M. W. HAND PTY. LTD.
 A.C.N. 006 368 449
LAND SURVEYOR & CIVIL ENGINEER
 45 BANYAN STREET, WARRNAMBOOL
 TEL. (055) 62 3389

LICENSED SURVEYOR (PRINT) MICHAEL WILLIAM HAND
 SIGNATURE *[Signature]* DATE 10-5-1996
 REF 3579 VERSION 4

DATE 7 / 1 / 1997
 COUNCIL DELEGATE SIGNATURE
 ORIGINAL SHEET SIZE A3

A. M. G. ZONE 54



<p>M. W. HAND PTY LTD A.C.N. 006 368 449 LAND SURVEYOR & CIVIL ENGINEER 45 BANYAN STREET, WARRNAMBOOL TEL. (055) 62 3389</p>	<p>SCALE</p> <p>LENGTHS ARE IN METRES</p>	<p>ORIGINAL SCALE SHEET SIZE 1:250 A3</p>	<p>LICENSED SURVEYOR (PRINT) MICHAEL WILLIAM HAND..... SIGNATURE <i>Michael Hand</i> DATE 10-5-1996 REF 3579 VERSION 4</p>	<p>SHEET 3 OF 4 SHEETS DATE 7 / 1 / 1997 COUNCIL DELEGATE SIGNATURE</p>
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0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150mm

ADVERTISED

PS402585C

FOR CURRENT BODY CORPORATE DETAILS
SEE BODY CORPORATE SEARCH REPORT

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11 September 2020

Cathy Sextus
Statutory Planning Officer
Warrnambool City Council
PO Box 198
WARRNAMBOOL VIC 3280

By email only: planning@warrnambool.vic.gov.au

Dear Cathy

Planning Permit Application - PP2020-0109
58-60 Mortlake Road, Warrnambool
Response to further information request

We continue to act for The Salvation Army (Victoria) Property Trust, the applicant for the above application.

We refer to the letter from Council dated 26 August 2020 requesting further information (**the RFI**). The following responds to the RFI.

Item 1

- Please find enclosed an updated application form and planning report. It is noted that the proposal does not alter access to a Road Zone 1 (Mortlake Road) and accordingly this has not been included on the application form.
- Clause 52.29 of the Warrnambool Planning Scheme (Land Adjacent to a Road Zone, Category 1, or a Public Acquisition Overlay for a Category 1 Road) includes permit triggers, relevantly, where a person intends to “create or alter access to...a road in a Road Zone Category 1”.
- We note that in *Peninsula Blue Developments Pty Ltd v Mornington Peninsula CC* (Revised) (Red Dot) [2015] VCAT 571, the Tribunal clarified the breadth of this phrase and the associated permit requirement. The Tribunal held that Clause 52.29 was triggered by:

(a) any physical change to the opportunity for traffic to approach or enter a road in a Road Zone Category 1, or

(b) any change to the use or development of land that may result in changes to the opportunity for traffic to approach or enter a

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road in a Road Zone Category 1 in terms of volume, frequency or type of traffic whether this is more or less than the existing situation.

- The proposal does not meet the above triggers. Firstly, no physical change is proposed to how traffic may approach or enter Mortlake Road.
- Secondly, the Traffic Impact Assessment which accompanies the application found “The volume of vehicle movements to / from the proposed development is likely to be significantly lower than those currently being generated by [the] existing use of the site. Accordingly, no significant impacts to [the] efficient operation of the surrounding road network could be expected due to the proposed development.”

Item 2

- One (1) crossover is proposed to Breton Street. The existing crossover to the tennis centre car park will be removed and a new crossover will be constructed as shown on plans enclosed with the application. The eastern crossover referenced in the RFI is on adjoining land and is not affected by this proposal.

Item 3

- In relation to staff numbers, the reference to 15 staff is a typographical error. A maximum of 20 staff is proposed. The planning report has been amended to correct this inconsistency.

Item 4

- Six (6) bicycle spaces are to be provided. The planning report has been amended to correct this inconsistency.

Item 5

- It is anticipated the balance of the site may be developed for residential purposes in the future. Until such time, the balance of the site will remain vacant and will be maintained as lawn.

Item 6

- Noted. Please let us know if additional information is required on this matter.

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Item 7

- Please find enclosed an updated survey plan which notes the two trees which have been removed since the survey was undertaken.



We trust the above satisfies the RFI. Please us know if this is not the case.

We look forward to receiving advertising instructions at your earliest convenience.

Please do not hesitate to contact us on 5562 9443 if you have any queries or require further information.

Yours sincerely,

A handwritten signature in blue ink, appearing to read 'Smyers', is written over the typed name.

Steve Myers, Director

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APPLICATION FOR PLANNING PERMIT

USE AND DEVELOPMENT OF LAND FOR A PLACE OF WORSHIP AND ASSOCIATED SIGNAGE

58-60 Mortlake Road, Warrnambool

Warrnambool Planning Scheme

Prepared on behalf of The Salvation Army

September 2020

Myers Planning Group
182B Lava Street
Warrnambool, Victoria
p. (03) 5562 9443

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Schedule of documents

Appendix A - Certificate of Title

Appendix B - Town Planning Drawings by JMA Architects

Appendix C - Colour and Material Schedule by JMA Architects

Appendix D - Survey and Feature Plan by Brayley & Hayes

Appendix E - Landscape Plan by memLa

Appendix F - Traffic Impact Assessment by ESR Transport Planning

Appendix G - Planning and Aboriginal Heritage Advice by Clarkeology.

Myers Planning Group Quality System

Author	SMac	Checked By	SM
Date issue	4 September 2020	Revision Number	4

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1 Introduction

Myers Planning Group has been engaged by The Salvation Army (Victoria) Property Trust to prepare a Town Planning Report in support of an application at 58-60 Mortlake Road, Warrnambool (Lot 9 of Plan of Subdivision 402585). The application seeks approval for the use and development of the land for a place of worship and associated signage.

This report assesses the merits of the proposal and finds that the use of the land for a place of worship is an appropriate outcome with regard to the purpose of the General Residential Zone, and with regard to the site's location at the interface of a Neighbourhood Activity Centre and an arterial road. The design and scale of the building balances the logistical requirements of the building's purpose with the amenity expectations of adjacent and nearby residential land. The proposal is not expected to have any adverse impacts on the subject site and surrounds.

This report outlines the planning context for the site and finds that the proposal requires a permit under the Warrnambool Planning Scheme in accordance with:

Clause 32.08 **General Residential Zone** for use (Place of Worship) and development;

Clause 52.05 **Signs** for identification signage in Category 3.

The following clauses do not trigger a permit requirement but are required to be considered.

Clause 52.06 **Car Parking** for new land use as 'Place of Assembly'.

Clause 52.29 **Land Adjacent to a Road Zone Category 1**

Clause 52.34 **Bicycle Facilities** for new use/

Clause 53.18 **Stormwater management in urban development** for building and works.

This report provides details of the subject site, relevant planning controls and policies, a discussion of relevant planning matters, and provides a streamlined assessment against the planning provisions that apply to the site.

The following documents should be read in conjunction with this report and are provided as part of the application:

- Certificate of Title
- Town Planning Drawings by JMA Architects
- Colour and Material Schedule by JMA Architects
- Survey and Feature Plan by Brayley & Hayes

- Landscape Plan by memLa
- Traffic Impact Assessment by ESR Transport Planning
- Planning and Aboriginal Heritage Advice by Clarkeology.

2 Subject site, site interfaces and nearby land uses

2.1 Subject Site

The subject site is recognised by the rated address of 58-60 Mortlake Road, Warrnambool and is further described and identified by its relevant title details, which are Lot 9 Plan of Subdivision 402585C (Volume 10346 Folio 282). See **Appendix A** for copy of Certificate of Title.



Subject site

2.2 Site Characteristics and Context

Site shape and dimensions	The subject site is irregular in shape and has approximately 60 metres frontage to Mortlake Road (eastern boundary), and approximately 80 metres frontage to Breton Street (southern boundary). The maximum north-south depth is approximately 79 metres, the maximum east-west depth is approximately 161 metres.
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Size	The subject site has an area of approximately 9,899 square metres.
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Levels and contours of the site.

The site is mostly flat, sitting at approximately 9 metres Australian Height Datum (AHD). There is a very gradual downslope at the eastern part of the land, falling approximately 0.4 metres in level.

Natural features including trees and other significant vegetation, drainage lines, water courses, wetlands, ridgelines and hill tops.

The site contains several non-native trees in the north-western part of the site, and several native trees (likely to have been planted) in the far south-eastern corner. There is no formal landscaping.

The siting and use of existing buildings and structures on the subject site.

The site contains a large building in the centre of the lot, used for indoor recreation (indoor tennis) and ancillary uses. The western part of the site is used for car parking associated with the indoor tennis centre, providing approximately 42 marked car parking spaces on an engineered hard surface.

The site is partially fenced. The fencing is approximately 1.8 metres in height where it adjoins a dwelling to the north-west, and constructed of besser blocks. The remainder of the fencing is constructed from wooden palings, varying approximately 1.5 to 1.8 metres in height.

The frontages to Mortlake Road and Breton Street are unfenced.

The zoning and land use and development of adjacent and nearby land in the locality.

The subject site is located in the General Residential Zone. It is within the Northpoint Village Neighbourhood Activity Centre Precinct (see Plan 1c in Clause 21.02-1 of the Warrnambool Planning Scheme). There is one residential lot of 750 square metres adjoining the north-western boundaries of the subject site, used for a single dwelling. A group of eight (8) attached townhouses is located to the south-east of the site. The townhouses are on individual lots ranging from approximately 96-181 square metres. The townhouse lots were created in September 1997 from the same plan of subdivision as the subject site, with common property for vehicle access to the rear of the townhouse properties directly adjoining the subject site boundary. Continuing east along Breton Street, and to the east and south generally, the urban

form consists of medium density and mostly single storey suburban dwellings, with lot sizes ranging from 250 -750 square metres.

Directly to the south across Breton Street in the General Residential Zone, the land is used for indoor recreation ('Warrnambool Indoor Cricket and Netball Centre'), on a lot of approximately 3,750 square metres.

Directly to the north of the site in the Commercial 1 Zone, the land is used for retail, including a supermarket. This area is identified in the Warrnambool Planning Scheme as the 'Retail Core Area' of the Northpoint Village Neighbourhood Activity Centre Precinct.

Directly to the west of the site is the road reserve for Mortlake Road, Road Zone Category 1. To the west of this road reserve, the land is in the General Residential Zone. Three lots fronting the road have non-residential use, being a building with four retail premises, a veterinary practice, and the Warrnambool fire station, respectively.

Approximately 275 metres north of the site, and 360 north-west of the site, there are two places of the worship, the Kingdom Hall of Jehovah's Witnesses and the Church of Jesus Christ of Latter-day Saints respectively. These places of worship are located in the General Residential Zone.

Street frontage features (such as poles, street trees and kerb crossover), abutting street and path widths, materials and detailing, and access points.

Mortlake Road frontage: arterial road, carriageway has one vehicle lane and bicycle lane in each direction with space for right and left turning lanes at intersection. Kerbing and drainage to urban standard. The grassed verge contains mature native trees and shared path. Other infrastructure includes one street light pole, one power pole, one stop valve, two Telstra pits. There is no crossover.

Breton Street frontage: local road, carriageway has one vehicle lane in each direction. Median divider and 'give way' sign at intersection with Mortlake Road. Kerbing and drainage to urban standard. The grassed verge contains one native tree and footpath. Other infrastructure consists of one fire hydrant. There is one double crossover to car

	<p>parking area of subject site. Directly opposite this crossover on the south side of Breton Street is the double crossover to car parking area of the Warrnambool Indoor Cricket and Netball Centre.</p>
<p>Directions and walking distances to public transport routes and stops.</p>	<p>The bus stops for both directions of the Number 2 bus route are located on Mortlake Road within 100 metres of the site.</p>
<p>Direction and distances to local shops and community facilities.</p>	<p>The site adjoins the Northpoint Village (identified as 'Retail Core Area' of the Neighbourhood Activity Centre in Plan 1c, Clause 21.02-1 of the scheme) in the Commercial 1 Zone. There are local shops, a veterinary practice, and the Warrnambool fire station, directly across Mortlake Road from the site, in the General Residential Zone; this area is within the 'Activity Centre Precinct' shown on Plan 1c in the scheme. Outside the boundary of the Activity Centre Precinct, there is an indoor recreation centre directly to the south of the site. Two churches are to the north and north-west, within 370 metres.</p>
<p>Location of drainage and other utilities.</p>	<p>All services are available within Mortlake Road and Breton Street.</p>
<p>Easements.</p>	<p>The site is encumbered by six easements. Two of which, constrain the building envelope for the proposal.</p> <p>Easement E-5, for drainage, runs generally north from the western-most point of the southern boundary (not including the corner splay), for a length of approximately 56 metres, angling in to meet the western boundary.</p> <p>Easement E-6, for sewerage, runs between the northern boundary to the southern boundary, with the western edge of the easement located approximately 40 metres from the western boundary.</p> <p>Both these easements are two (2) metres in width.</p>

Any places of cultural significance.	The application site is within an area of cultural heritage sensitivity as described in the Aboriginal Heritage Regulations 2018. A Cultural Heritage Management Plan (CHMP) is not required as works are contained to areas which have been significantly disturbed (see Appendix G).
Significant views to and from the site.	There are no significant views to and from the site.
Soil conditions, including any land affected by contamination, erosion, salinity, acid sulphate soils or fill.	No contamination risks associated with former uses are known. The site is not identified as having potential to contain acid sulphate soils.



Mortlake Road frontage of subject site, looking east: Mortlake Road and verge (foreground); dwelling, Warrnambool Indoor Tennis Centre, Warrnambool Indoor Cricket and Netball Centre (background, left to right).



Left: Mortlake Road, looking north-west: road reserve approaching intersection with Breton Street (foreground); commercial premises and fire station in General Residential Zone (background).

Right: Breton Street intersection with Mortlake Road looking west: existing traffic controls (foreground); dwellings (background).



Interface of subject site and adjoining land, looking south: existing carparking area on subject site (foreground); Breton Street, Warrnambool Indoor Cricket and Netball Centre, dwellings (background).



Breton Street frontage of subject site, looking south to west (panoramic): road reserve with fire hydrant (foreground); Warrnambool Indoor Cricket and Netball Centre, Mortlake Road verge vegetation, Warrnambool Indoor Tennis Centre (background, left to right).



Left: Breton Street corner of subject site, looking west: Site boundary, driveway in common property for townhouses (foreground); road reserve, south-eastern corner of Warrnambool Indoor Tennis Centre (left to right).

Right: Breton Road looking south-east: road reserve (foreground); dwellings, Warrnambool Indoor Cricket and Netball Centre (background).



Left: Interface of subject site and adjoining land, looking south: driveway in common property for townhouses (foreground); rear of townhouses, Warrnambool Indoor Cricket and Netball Centre, Warrnambool Indoor Tennis Centre (left to right).

Right: Interface of subject site and adjoining land, looking east: driveway in common property for townhouses (foreground); Warrnambool Indoor Tennis Centre, dwellings, rear of townhouses (background).



Left: Interface of subject site and adjoining land, looking south: undeveloped land on subject site (foreground); dwellings with frontage to Breton Street (background).

Right: Interface of subject site and adjoining land, looking east: northern boundary fence, undeveloped land on subject site (foreground); dwellings with frontage to Adam Court (background).



Left: Interface of subject site and adjoining land, looking east: commercially zoned land, delivery access to rear of supermarket (left); northern elevation of Warrnambool Indoor Tennis Centre building (right).

Right: Interface of subject site and adjoining land, looking north-west: existing car parking area on subject site (foreground); Mortlake Road road reserve, Warrnambool Fire Station, dwelling with frontage to Mortlake Road (background).



Interface of subject site and adjoining land, looking east: public car parking area in road reserve of Mortlake Road (foreground); delivery access for supermarket in Commercial 1 Zone, dwelling, with Warrnambool Indoor Tennis Centre behind, in General Residential Zone (background).

3 The proposal

This application seeks planning approval for the use of land, and associated buildings and works for a place of worship and associated signage at 58-60 Mortlake Road, Warrnambool.

The proposal is intended to facilitate the relocation of The Salvation Army Warrnambool Corps from their existing place of worship located on the corner of Lava and Henna Streets, Warrnambool, which no longer meets the needs of their community. The proposed building and works will include the full demolition of the existing built form on the site and the existing paved car parking area and removal of the existing crossover, none of which requires a planning permit.

The Salvation Army is a well-known religious group that includes charitable and welfare services to the community as a component of their religious activity. The proposed site will support similar activities as those that are currently undertaken at their current place of worship, including:

- Sunday worship services
- Bible study sessions
- Corps cadets
- Youth group
- Men's group
- Women's group
- Playgroup
- Choir
- Brass band
- Outreach services (such as SalvoConnect, Emergency Relief).

Administrative support is required for these activities. The administrative component is not a purpose in its own right, as it is an inherent part of the operations of the place of worship.

The proposed hours of activity will be weekdays during normal business hours and some weekday and weekend evenings for small group activities, generally finished by 8.30pm, with brass band rehearsals going later into the evening. There will be regular activity on Sunday mornings.

The maximum number of people expected to attend the site at one time is 188 people, when the main worship room is being used. Up to 20 people may be employed for the administrative and outreach aspects of the Warrnambool Corps ministry.

The building will be sited on the western part of the site, in between two existing easements running north-south across the site.

Relevant setbacks will be:

- Mortlake Road frontage (western boundary): 8.065 metres
- Breton Street frontage (southern boundary): 4.728 metres
- Northern boundary shared with dwelling: 16.454 metres
- Eastern boundary shared with townhouse common property: 47.716 metres

The building will have a total footprint of approximately 1,330 square metres. It will feature a split level roof, and two distinct wall heights. The southern part of the building, and the frontage to Breton Street, will have a floor-to-ceiling height of 2.7 metres, and a maximum height of 4.5 metres. The northern part of the building will have a floor-to-ceiling height of 4.5 metres, and a maximum height of 7 metres.

The roof for both parts of the building will be set at gentle grades of 3 degrees to assist with stormwater drainage. Panels for a solar photovoltaic system will be installed on the north-western roof. Skylights will be included on the part of the roof over the lobby. The roof will be hidden behind a wrap-around parapet made of architectural metal cladding that has a height of 1.8 metres for the southern part of the building, and 2.5 metres for the northern part of the building.

The metal cladding for the parapet will extend down to form an architectural feature on parts of all elevations. The western elevation, facing Mortlake Road, features extensive glazing, and includes the secondary entrance. The eastern elevation includes the main entrance from the proposed car parking area. All elevations include a mix of materials, being masonry, metal cladding, and glazing.

The proposal will provide 58 car parking spaces, including two (2) disabled car parking spaces, which complies with the requirements in the planning scheme for car parking. Six (6) bicycle parking spaces will be provided which complies with the requirements in the planning scheme for bicycle facilities.

Internally, the building will include the following:

- Main worship room, connected to multipurpose room and youth hall with room dividers.
- Lobby area connecting the eastern (main entry) and western entries.
- Parents room.
- Play area.
- Kitchen, servery and food storage rooms.
- Two store rooms and outreach pantry room.
- Staff lunchroom.
- Office rooms and interview rooms associated with outreach services and general administration for the Warrnambool Corps.

- Male and female amenities, cleaning storeroom.

Two signs for identification of the place of worship will be incorporated on the western and eastern parapet. Each sign includes the well-known 'Red Shield' logo and the name of the organisation 'The Salvation Army'.

Landscaping will include a combination of groundcovers, trees and shrubs, including the following native species: Blackwood, Weeping Bottlebrush, White Correa, Lilly-Illy, Pig Face, and Spiny-headed Mat-Rush.

It is anticipated the balance of the site may be developed for residential purposes in the future. Until such time, the balance of the site will remain vacant and will be maintained as lawn.

Please refer to **Appendices B, C and E** (Town Planning Drawings, Materials and Colours Schedule, Landscaping Plans) for full details of the proposed development.

4 Planning Provisions

4.1. Planning Policy Framework

The Planning Policy Framework (PPF) seeks to ensure the objectives of planning in Victoria (as set out in Section 4 of the Act) are fostered through appropriate land use and development policies and practices. The PPF informs the preparation and implementation of local planning policy objectives and the introduction of zone and overlay controls, and seeks to integrate relevant environmental, social and economic factors in the interest of net community benefit and sustainable development.

The PPF seeks to provide for housing diversity and affordability, whilst ensuring building design appropriately respects the character of the neighbourhood and nearby landscapes with identified values, particularly in coastal settlements and within the Great Ocean Road region. Those clauses most relevant to this proposal include:

Settlement

- Clause 11.01-1S Settlement: To promote the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements. Warrnambool is identified as a settlement where major growth is supported in the Great South Coast Regional Growth Plan.
- Clause 11.01-1R Settlement - Great South Coast: To attract more people to the region.
- Clause 11.03-1S Planning for places - Activity centres: To encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres that are highly accessible to the community.

Environmental Risks and Amenity

- Clause 13.07-1S Amenity and Safety - Land use compatibility: To safeguard community amenity while facilitating appropriate commercial, industrial or other uses with potential off-site effects.

Built Environment and Heritage

- Clause 15.01-1S Urban design: To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.
- Clause 15.01-2S Building Design: To achieve building design outcomes that contribute positively to the local context and enhance the public realm.

- Clause 15.01-5S Neighbourhood character: To recognise, support and protect neighbourhood character, cultural identity, and sense of place.
- Clause 15.02-1S Energy and resource efficiency: To encourage land use and development that is energy and resource efficient, supports a cooler environment and minimises greenhouse gas emissions.
- Clause 15.03-2S Heritage - Aboriginal cultural heritage: To ensure the protection and conservation of places of Aboriginal cultural heritage significance.

Transport

- Clause 18.01-1S Integrated transport - Land use and transport planning: To create a safe and sustainable transport system by integrating land use and transport.
- Clause 18.01-2S Integrated transport - Transport system: To coordinate development of all transport modes to provide a comprehensive transport system.
- Clause 18.02-1S Movement networks - Sustainable personal transport: To promote the use of sustainable personal transport.
- Clause 18.02-4S Movement networks - Car Parking: To ensure an adequate supply of carparking that is appropriately designed and located.

Infrastructure

- Clause 19.02-4S Community infrastructure - Social and cultural infrastructure: To provide fairer distribution of and access to social and cultural infrastructure.
- Clause 19.03-3S Development infrastructure - Integrated water management: To sustainably manage water supply, water resources, wastewater, drainage and stormwater through an integrated water management approach.

Assessment against the Planning Policy Framework

The planning policy framework (PPF) recognises that providing convenient access to community facilities is an integral part of supporting sustainable settlements across Victoria. Locating community facilities within or in close proximity to activity centres enables those facilities to be more accessible. The proposed place of worship is a community facility of central importance to members of The Salvation Army in the Great South Coast region. The Salvation Army's principal church/corps facility in the Great South Coast region is currently located at the corner of Lava and Henna Streets, within the core commercial boundary of Warrnambool City Centre (see Plan 1a, Clause 21.02-1 of the scheme). The facilities on this site are aging and are no longer fit for purpose for the contemporary operations of The Salvation Army in the Great South Coast region. The constraints of the current site are

reducing the capacity of The Salvation Army to deliver the community services and support that are reasonably expected from a place of worship which serves the wider region. The Salvation Army purchased the subject site at 58-60 Mortlake Road in 2016, recognising the potential for the site to serve as a more suitable location for their place of worship. Due to the subject site being located within the Northpoint Village Neighbourhood Activity Centre Precinct, the site is highly accessible by public transport, bicycle, foot, and motor vehicles, for church members who reside within Warrnambool and church members from further afield. The proposal complies with the objective and relevant strategies in Clauses 11.01-S Settlement, 11.01-1R Settlement – Great South Coast, 11.03-1S Planning for Places - Activity Centres, 18.01-1S Land use and transport planning, 18.01-2S Transport system, 18.02-1S Sustainable personal transport, Clause 18.02-4S Car parking, and 19.02-4S Social and cultural infrastructure.

The PPF seeks to ensure that any proposed use and development of land does not have unreasonable impact to community amenity (Clause 13.07-1S Land use compatibility). A proposal for a place of assembly has the potential to generate off-site effects. However, this proposal will result in a less intense use of the site than the current use, with a less bulky building. The Warrnambool Indoor Tennis Centre has had up to 1,200 people using its facilities each week, seven days per week. The proposed use of the land for a place of worship is expected to cater for up to 188 church members during church services and activities on Sunday mornings and weekdays and some weekday evenings, with ancillary use occurring during weekday business hours. These proposed hours for the operational use of the site are considered to be compatible with the existing adjoining land uses. The subject site is considered to be an appropriate location for the proposed use, as a place of worship is compatible with the context of the site being within the neighbourhood activity centre precinct, at the interface of the commercial and residential zones.

The proposed building design, and its placement on the site combined with the proposed areas for carparking, is considered to achieve a satisfactory separation of the proposed use and development from the existing residential uses on adjoining lots. The proposed development meets the policy directions of Clauses 15.01-1S Urban Design, 15.01-2S Building design, and 15.01-5S Neighbourhood character, which seek to achieve a high level of design that contributes to the amenity of the urban environment. The proposed design delivers a contemporary building with less bulk and more aesthetic interest than the existing building which has an overwhelming industrial visual impact.

The proposed building design has less roof area and less impervious surface area than the existing development on the site. Combined with the proposed landscaping, and standard conditions on a permit for all stormwater to be retained on site or directed to the legal point of discharge, the proposal complies with the policy at Clause 19.03-3S Integrated water management. The proposal will comply with the energy efficiency standards prescribed for

non-residential buildings, and will support a large solar photovoltaic array on the roof (Clause 15.02-1S Energy and Resource Efficiency).

The PPF seeks to ensure the protection and conservation of places of aboriginal cultural heritage. The potential impact of the proposal to aboriginal cultural heritage is being managed by the preparation of a Cultural Heritage Management Plan, to be submitted as part of this application. (Clause 15.03-2S Aboriginal cultural heritage).

It is considered that the proposal addresses the PPF, which seeks to:

- Support social and cultural facilities that meet a need from the community, particularly in the regional cities which service an extended area. These facilities should be located within or alongside activity centres, and be easily accessible, including via sustainable transport options;
- Ensure building design respects the character of the neighbourhood and that the use and design is compatible with community amenity.
- Ensure urban development does not compromise water quality and existing stormwater management.

4.2. Municipal Planning Strategy

The Municipal Planning Strategy (MPS) sets out the local strategic planning context for a municipality. It comprises the Municipal Strategic Statement (MSS) and specific local planning policies. Those clauses most relevant to this proposal include:

- Clause 21.01 Municipal Profile, Council Vision and Strategic Directions
- Clause 21.02-1 Settlement: Activity centres
- Clause 21.06 Built Environment and Heritage: Sustainable Environment
- Clause 21.08-1.1 Economic Development: Out of centre development
- Clause 21.09-1 Transport: Land use and transport planning
- Clause 21.10-2 Infrastructure: Distribution of social and cultural infrastructure.

No local planning policies are relevant to this proposal.

Assessment against the Municipal Planning Strategy (Local Planning Policy Framework)

The Municipal Planning Strategy (MPS) notes that Warrnambool provides support to the population of southwest Victoria, including community and social services, and states: “The provision of efficient and effective community services and appropriate and flexible spaces for community activities will be critical in maintaining liveability and a sense of community

as well as supporting optimal community health and wellbeing.” Key planning issues identified by the MPS include community health and wellbeing. The MPS seeks to provide access to a range of community facilities that accommodate a diverse and integrated range of services, programs and activities, and make a significant contribution to enhancing the health and wellbeing of the Warrnambool community. People should be able to access locations that are important for their regular life via walking or cycling or public transport. Locating these types of destinations in and beside activity centres will assist in addressing this issue.

The proposal will allow The Salvation Army to continue providing essential community and social services to their members and to vulnerable people in the Great South Coast community. The proposed site is better suited to their current and projected future needs and is also highly accessible due to being on the public bus route (Route 2) and adjacent to Warrnambool’s shared path network, in addition to being adjacent to the neighbourhood activity centre of Northpoint Village. (Clause 21.01 Municipal Profile, Council Vision and Strategic Directions, Clause 21.09-1 Transport: Land use and transport planning, Clause 21.10-2 Infrastructure: Distribution of social and cultural infrastructure).

The location for the proposed place of worship is appropriate when considered against the MPS. Places of worship are not the same category as retail or commercial development, however they may be generators of activity which may lead to amenity impacts. The edge of activity centres is an appropriate location for this type of land use, as it minimises impacts on surrounding residential areas and contributes to accessibility. The location for the proposal is adjacent to the commercially zoned land of the Northpoint Village Neighbourhood Activity Centre. The proposal supports the role of this activity centre as a social focus for residents across Warrnambool’s Regional Catchment Area. The subject land is within the Activity Centre Precinct while being located in the residential zone. Therefore the proposal is not taking away commercial zoned land from retail and commercial development. The MPS notes that further strategic work should be directed to reviewing the land uses and zoning within the Northpoint Village Neighbourhood Activity Centre precinct. Given that this strategic work has not yet been undertaken, it is considered that the proposal meets the purpose of the current zoning within the precinct, and complies with the current strategic directions regarding land use within and adjacent to designated activity centres. (Clause 21.02-1 Settlement: Activity centres, Clause 21.08-1.1 Economic Development: Out of centre development)

The MPS contains detailed policy at Clause 21.06-1 Urban Environment regarding urban design, design for safety, and cultural identity and neighbourhood character. New development is expected to contribute to a high standard of amenity for residents, by using good design to create buildings with attractive and interesting forms, and landscaping which integrates the building into its surrounds. New development is also expected to contribute to safer neighbourhoods by using design that contributes to an active street

frontage. The MPS states that to maintain neighbourhood character and to ensure that the quality of the built environment is protected and enhanced, new development is required to respond to the site context, be effectively integrated with the existing architectural, historic and landscape character of the neighbourhood, and to respect the scale and character of existing buildings with regard to building height.

The proposal achieves these objectives. The proposed design features a complementary palette of materials and colours, and a high degree of articulation in the facades. The bulk and scale is considerably less than the existing indoor recreation centre on the subject site, and is complementary to the existing indoor recreation centre to the south. The proposed car parking spaces provide a generous setback of the proposed building from the townhouses to the east and the dwelling to the north. The proposed landscaping will facilitate the blending of the building into the interface of the commercial and residential landscape. The building will engage with the frontage to Mortlake Road, and generous glazing on both street frontages will allow for passive surveillance (Clause 21.06-1 Urban Environment).

The MPS contains policy to complement state policy regarding ecologically sustainable development principles, especially in relation to water conservation and the minimisation of greenhouse gas emissions. The roof design includes skylights and high level windows to bring natural light into the lobby area, and a generous solar photovoltaic array is included in the plans. The landscaping design includes native species for the landscaping to meet policy for water conservation (Clause 21.06-2 Sustainable Development).

The proposal appropriately addresses the objectives within the Municipal Planning Strategy.

4.3. Zones

The subject site is zoned General Residential Zone (Clause 32.08).

The purposes of the General Residential Zone include:

- To encourage development that respects the neighbourhood character of the area.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Pursuant to Clause 32.08-1 (Table of Uses) the use 'Place of Worship' is a Section 2 use for proposals where the gross floor area of all buildings exceeds 250 square metres, and a permit is required. Pursuant to Clause 32.08-9, a permit is required for buildings and works associated with a Section 2 Use.

The schedule to the General Residential Zone does not contain any specific requirements or objectives for the zone.

Clause 32.08-11 requires that an application be accompanied by the following information:

- Plans drawn to scale and dimensioned which show:
 - Site shape, size, dimensions and orientation.
 - The siting and use of existing and proposed buildings.
 - Adjacent buildings and uses.
 - The building form and scale.
 - Setbacks to property boundaries.

- The likely effects, if any, on adjoining land, including noise levels, traffic, the hours of delivery and despatch of good and materials, hours of operation and light spill, solar access and glare.

Plans are provided in **Appendix B**.

The likely effects on adjoining land are indicated in Section 3, and are reiterated in the following table:

Clause 32.08-11 Information	Response
The likely effects on adjoining land from:	
Noise levels:	The proposed building will be constructed with standard insulation, and noise generated inside the building is not expected to be heard on adjoining land.
Traffic and car parking:	Carparking is provided at rates as required by the Planning Scheme (total of 58 car spaces). Car parking and traffic is not expected to be a have an impact on nearby uses.

Clause 32.08-11 Information	Response
Hours of operation, Hours of delivery and dispatch of goods and materials:	<p>The largest regular gathering of people, and the most activity with regard to traffic movements and in the car parking area, will be on Sunday mornings, generally no earlier than 9am and no later than 12 noon. There will be some activity during business hours Monday to Friday 8.30am to 5pm. There will be some evening activities, with most of these expect to conclude by 8.30pm, and brass band rehearsals concluding by 10pm.</p> <p>Any goods or materials associated with the place of worship will be delivered during business hours. No goods or materials are dispatched in bulk.</p>
Light Spill:	Baffles will be incorporated into car parking lighting and building lighting, to ensure there is no light spill into residential land.

The following table provides an assessment of the proposal against the relevant decision guidelines specified at Clause 32.08-13.

Decision Guidelines	Response
General	
The purpose of this zone.	<p>Guideline met</p> <p>The proposal complies with the purpose of the zone which seeks to allow religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations, and to encourage development that respects the neighbourhood character of the area.</p> <p>The existing neighbourhood character is subject to the interface of the commercial and residential zones within the Neighbourhood Activity Centre Precinct. The existing built form in the residential zoned locality, including the two large indoor recreation centres and existing retail and other non-residential land uses, support a continuation of the non-residential use of the subject site.</p> <p>The proposed use of the land for a religious, community and social purpose will serve both the local community</p>

Decision Guidelines	Response
	within Warrnambool and the community throughout the Great South Coast.
The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots.	<p>Guideline not applicable</p> <p>There are no adjoining lots with rooftop solar energy systems.</p>
Non-residential use and development	
Whether the use or development is compatible with residential use.	<p>Guideline met</p> <p>Places of worship are commonly found within residential areas. Two existing places of worship are located within the residential zoned land with 275 metres and 360 metres from the subject site.</p> <p>In addition to the existing places of worship located nearby, the locality comprises a range of uses within the residential zoned area of the Northpoint Village Neighbourhood Activity Centre precinct, including medium density residential development, several small retail premises, an indoor recreation centre, a veterinary practice, and a fire station.</p> <p>Typical hours of operation will go no later than 8.30pm on most nights, with evening activities held on Wednesday, Thursday and Fridays. Sunday activities will be generally from 9am to 12pm. These hours of operation are considered to be appropriate in a residential setting. Car parking demand can be adequately managed with proposed onsite parking.</p> <p>On balance, the proposed use is considered to be compatible with established residential uses in the context of existing uses within the surrounding area and proximity to the Northpoint Village Neighbourhood Activity Centre.</p>
Whether the use generally serves local community needs.	<p>Guideline met</p> <p>Places of worship seek to serve the needs of their community, who may be drawn from a broad area. The</p>

Decision Guidelines	Response
	<p>Salvation Army has members across Warrnambool and the surrounding area.</p> <p>In addition to serving the spiritual and community needs of their members, The Salvation Army assists members of the general community who need assistance with basic and emergency support services, including housing, food, relationship and mental health counselling.</p> <p>Being located within the Northpoint Village Neighbourhood Activity Centre precinct, the proposed place of worship will be highly accessible either by private car, bicycle or public transport.</p>
<p>The scale and intensity of the use and development.</p>	<p>Guideline met</p> <p>The scale and intensity of the proposed use and development is considered to result in less amenity impact to nearby residential use than the existing indoor tennis centre, which has been in operation for over 20 years on this site. The Facebook page for the Warrnambool Indoor Tennis Centre is the primary online information source for the centre. It states that the centre is open 7 days a week, and that over 1200 players hire courts, have coaching, or play in competitions each week at the centre. The facility incorporates 7 indoor tennis courts for public hire, and includes ancillary uses, such as a reception area, change rooms, pro shop, café, fitness centre and rooms for massage therapy, in addition to administrative rooms.</p> <p>The proposal is likely to result in less than 1200 people coming to the site each week. The Warrnambool Corps website does not advertise any activities on Saturdays. There will be no ancillary retail use.</p>
<p>The design, height, setback and appearance of the proposed buildings and works.</p>	<p>Guideline met</p> <p>The bulk and scale of the building will be less than the existing indoor tennis centre. The contemporary design of the building includes varied articulation and materials of the facades and generous glazing on the street frontages. The proposed building will have a greater setback from existing residential development than the existing indoor tennis centre. The building will engage with the Mortlake</p>

Decision Guidelines	Response
	<p>Road frontage, particularly by including a canopy over the main entrance to the building to connect to the shared path in the verge.</p> <p>See Appendices B and C (proposed plans and colour and materials schedule) for details.</p>
<p>The proposed landscaping.</p>	<p>Guideline met</p> <p>The proposed landscaping plan will facilitate the blending of the building into the interface of the commercial and residential landscape. It includes native species for the landscaping to meet policy for water conservation.</p> <p>See Appendix E (Landscaping Plan) for details.</p>
<p>The provision of car and bicycle parking and associated accessways.</p>	<p>Requirements met</p> <p>The number of car parking spaces and bicycle parking hoops as required by Clauses 52.06 and 52.34 has been provided - see Section 4.5.</p> <p>A new vehicle crossover will be created to provide vehicle access to the site, to be located east of the existing crossover. The existing crossover will be remade to standard kerb and channel at the permit holder's cost, to Council's satisfaction.</p>
<p>Any proposed loading and refuse collection facilities.</p>	<p>Requirements met</p> <p>The proposed building will have three double-width doorways suitable for loading and unloading, as well as pedestrian entry.</p> <p>Refuse collection facilities including space for a skip bin have been located to the north of the proposed building.</p>
<p>The safety, efficiency and amenity effects of traffic to be generated by the proposal.</p>	<p>Requirements met</p> <p>The Traffic Management Plan which accompanies this application demonstrates the impact on traffic to be generated by the proposal is no greater than the current impact from the existing use. The impact is considered to be acceptable for the context of the zone being adjacent to Mortlake Road in the Road Zone Category 1.</p>

The proposal is considered to comply with the provisions of the General Residential Zone, in particular with regard to the purpose of the zone regarding community facilities, and the amenity expectations of the zone.

4.4 Overlays

There are no overlays affecting the site.

4.5 Particular Provisions

The particular provisions are specific prerequisites or planning provisions for a range of particular uses and development and apply consistently across the State.

Clause 52.05 Signs

Pursuant to Clause 32.08-14, the General Residential Zone is in Category 3 with regard to Clause 52.05 Signs.

Pursuant to Clause 73.02 Sign Terms, the proposed signage can be identified as business identification sign.

Pursuant to Clause 52.05-13, business identification sign is a Section 2 Use. A permit is required.

Pursuant to Clause 52.05-6, an application for a sign must be accompanied by information regarding the site context and sign details.

The following table provides detailed responses to the information requirements. Please refer to **Appendix B** for elevations and details of signage.

Application requirements 52.05-6	Response
Site Context	
The location of the proposed sign on the site or building and distance from property boundaries.	<p>The signage is on the western parapet and eastern parapet.</p> <p>The western signage is 8 metres from the western property boundary and a minimum of 16.5 metres from the nearest northern boundary.</p> <p>The eastern signage is 47.7 metres from the nearest eastern boundary, and a minimum of 4.7 metres from the southern boundary.</p>

Application requirements 52.05-6	Response
<p>The location and size of existing signage on the site including details of any signs to be retained or removed.</p>	<p>There are large promotion signs on the western elevation of the main structure of the Warrnambool Indoor Tennis Centre, and smaller promotion signs on the western elevation of the entry structure for the centre. There is also one business identification sign on the entry structure. All these signs will be removed.</p>
<p>The location and form of existing signage on abutting properties and in the locality.</p>	<p>The abutting property to the north contains a large number of business identification signs, promotions signs, pole signs and internally illuminated signs associated with the use of the land as a shopping centre.</p> <p>The abutting property to the south (the Warrnambool Indoor Cricket and Netball Centre) contains a large business identification sign and a promotion sign on the western elevation.</p> <p>The three lots to the west of the subject site (the set of four shops, the veterinary practice, the fire station) on the western frontage of Mortlake Road contain large business identification signs, including pole signs.</p> <p>There are no signs on abutting properties to the east of the subject site.</p>
<p>The location of closest traffic control signs.</p>	<p>A 'Give Way' sign is located in the splitter island of Breton Street at the intersection with Mortlake Road.</p>
<p>Identification of any view lines or vistas that could be affected by the proposed sign.</p>	<p>Not applicable.</p>
<p>Sign Details</p>	
<p>The location, dimensions, height above ground level and extent of projection of the proposed sign.</p>	<p>Western sign: located on northern part of western parapet. Details of signage are contained in Appendix B.</p>

Application requirements 52.05-6	Response
The height, width, depth of the total sign structure including method of support and any associated structures such as safety devices and service platforms.	The structure for both the western and eastern sign consists of the roof parapet, detailed in Section 3. There are no safety devices or service platforms associated with the signs.
Details of associated on-site works.	Not applicable. There are no associated on-site works.
Details of any form of illumination, including details of baffles and the times at which the sign would be illuminated.	Not applicable. Illumination is not proposed.
The colour, lettering style and materials of the proposed sign.	The colours and lettering style are the standard colours and styles associated with the The Salvation Army across Australia. Details of signage are contained in Appendix B .
The size of the display (total display area, including all sides of a multi-sided sign).	Details of signage are contained in Appendix B .
The location of any logo box and proportion of display area occupied by such a logo box.	Not applicable. There is no logo box.
For animated or electronic signs, a report addressing the decision guidelines at Clause 52.05-8 relating to road safety.	Not applicable. The proposed signage is not animated or electronic.

The following table provides an assessment of the proposal against the relevant decision guidelines specified at Clause 52.05-8.

Decision Guidelines	Response
All signs	
The character of the area including: <ul style="list-style-type: none"> – The sensitivity of the area in terms of the natural environment, heritage values, waterways and 	Guideline met The proposed signage uses the standard logo and lettering for The Salvation Army. Proposed signage is considered to be compatible with

Decision Guidelines	Response
<p>open space, rural landscape or residential character.</p> <ul style="list-style-type: none"> - The compatibility of the proposed sign with the existing or desired future character of the area in which it is proposed to be located. - The cumulative impact of signs on the character of an area or route, including the need to avoid visual disorder or clutter of signs. - The consistency with any identifiable outdoor advertising theme in the area. 	<p>the existing and desired future character of the area. The subject site has contained large business identification and promotion signs for many years, and the proposed signage will have a more subdued aesthetic impact than the existing signage. There is no identifiable outdoor advertising theme in the area, however, the area is overtly commercial and features a large variety of signs. The addition of the proposed signage to the existing signage in the area is not considered to have a negative cumulative impact due to its subdued and familiar aesthetic, and its purpose, that is, for a place of worship in an appropriate location.</p>

Impacts on views and vistas:

<ul style="list-style-type: none"> - The potential to obscure or compromise important views from the public realm. - The potential to dominate the skyline. - The potential to impact on the quality of significant public views. - The potential to impede views to existing signs. 	<p>Guideline not applicable.</p> <p>Due to the proposed signage being on the western and eastern facades of the proposed building, which will take the place of the existing indoor recreation centre in the viewshed of the area, the signage itself will have no impact on views and vistas.</p>
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Decision Guidelines	Response
<p>The relationship to the streetscape, setting or landscape:</p> <ul style="list-style-type: none"> – The proportion, scale and form of the proposed sign relative to the streetscape, setting or landscape. – The position of the sign, including the extent to which it protrudes above existing buildings or landscape and natural elements. – The ability to screen unsightly built or other elements. – The ability to reduce the number of signs by rationalising or simplifying signs. – The ability to include landscaping to reduce the visual impact of parts of the sign structure. 	<p>Guideline met</p> <p>The proportion, scale and form of the signs are considered to be contextually appropriate. The site is in an activity centre precinct, fronting an arterial road, next to a shopping centre. This context supports signage that can be clearly read from the road in moving vehicles. The signs are of a proportionate size to the building’s parapet and will not protrude above the proposed building. The design is effective for its purpose, that is, to identify the place of worship on the facades of the building with the major entrances, being the western and eastern facade. The number of signs is therefore considered to be appropriate.</p>
<p>The relationship to the site and building:</p> <ul style="list-style-type: none"> – The scale and form of the sign relative to the scale, proportion and any other significant characteristics of the host site and host building. – The extent to which the sign displays innovation relative to the host site and host building. – The extent to which the sign requires the removal of vegetation or includes new landscaping. 	<p>Guideline met</p> <p>The proposed signage is considered to have an appropriate relationship to the proposed building and the site. The signage has been designed in an integrated manner with the proposed building. The signs will be easily read from the roads and the car parking area, and will highlight the architectural detailing of the facades.</p>
<p>The impact of structures associated with the sign:</p>	<p>Guideline met</p>

Decision Guidelines	Response
<ul style="list-style-type: none"> - The extent to which associated structures integrate with the sign. - The potential of associated structures to impact any important or significant features of the building, site, streetscape, setting or landscape, views and vistas or area. 	<p>The signs are integrated into the building and are supported by the roof parapet, which itself forms the architectural detailing of the buildings. The parapet will not have any adverse impact on the building, site, streetscape, setting, landscape, views and vistas of the area.</p>
<p>The impact of any illumination:</p> <ul style="list-style-type: none"> - The impact of glare and illumination on the safety of pedestrians and vehicles. - The impact of illumination on the amenity of nearby residents and the amenity of the area. - The potential to control illumination temporally or in terms of intensity. 	<p>Guideline not applicable.</p> <p>The signs are not proposed to be illuminated.</p>
<p>The impact of any logo box associated with the sign:</p>	<p>Not applicable.</p>
<p>The need for identification and the opportunities for adequate identification on the site or locality.</p>	<p>Guideline met</p> <p>The proposed signage is required to identify the place of worship. It is normal and expected for places of worship to have on-site signage identifying the site and other information associated with the place of worship.</p> <p>It is considered that the proposed locations for the two identification signs are appropriate for the context of the proposed use, the bulk and scale of the proposed building, and the context of the locality.</p>
<p>The impact of road safety. A sign is a safety hazard if the sign:</p>	<p>Guideline met.</p>

Decision Guidelines	Response
<ul style="list-style-type: none">– Obstructs a driver's line of sight at an intersection, curve or point of egress from an adjacent property.– Obstructs a driver's view of a traffic control device, or is likely to create a confusing or dominating background that may reduce the clarity or effectiveness of a traffic control device.– Could dazzle or distract drivers due to its size, design or colouring, or it being illuminated, reflective, animated or flashing.– Is at a location where particular concentration is required, such as a high pedestrian volume intersection.– Is likely to be mistaken for a traffic control device, because it contains red, green or yellow lighting, or has red circles, octagons, crosses, triangles or arrows.– Requires close study from a moving or stationary vehicle in a location where the vehicle would be unprotected from passing traffic.– Invites drivers to turn where there is fast moving traffic or the sign is so close to the turning point that there is no time to signal and turn safely.– Is within 100 metres of a rural railway crossing.	<p>The proposed signage is not considered to be a safety hazard when considered against the ten dot points.</p>

Decision Guidelines

Response

- Has insufficient clearance from vehicles on the carriageway.
- Could mislead drivers or be mistaken as an instruction to drivers.

The proposal appropriately addresses the provisions and decision guidelines regarding signage.

Clause 52.06 Car Parking

This clause applies to a new use. Before a new use commences, the number of car parking spaces required under Clause 52.06-5 must be provided to the satisfaction of the responsible authority on the land, or in accordance with a permit issued under Clause 52.06-3.

Table 1 of Clause 52.06-5 requires that for a Place of Assembly other than listed in this table, 0.3 car parking spaces per patron must be provided.

The proposal has an intended patron capacity of 188 patrons (requiring 56 car parking spaces to be provided). Fifty-eight (58) car parking spaces are proposed, including two (2) disabled car parking spaces. It is noted, two (2) car parking spaces are provided within the access to the loading bay. These spaces are intended to only be available for peak use (worship services, weddings, funerals, etc.) These spaces will be signposted such as 'No Standing / Mon-Sat' so that the spaces are clear for loading access.

The proposal includes a car parking plan as required by Clause 52.06-8. See **Appendices B and F** (Town Planning Drawings and Traffic Assessment) The proposal complies with the design standards for car parking at Clause 52.06-9.

The proposal complies with Clause 52.06. No permit requirement is triggered under this clause.

Clause 52.29 Land Adjacent to a Road Zone Category 1

This clause applies to land adjacent to a Road Zone, Category 1. A permit is required for proposals that apply to create or alter access to a road in a Road Zone, Category 1.

Mortlake Road is in Road Zone, Category. The proposal will not be creating or altering access to Mortlake Road.

No permit requirement is triggered under Clause 52.29.

Clause 52.34 Bicycle Facilities

This clause applies to proposals for a new use, or to increase the floor area of an existing use. Before a new use commences, or the floor area of an existing use is increased, the required bicycle facilities and associated signage must be provided on the land.

Table 1 of Clause 52.34-5 requires that for a Place of Assembly other than listed in this table, 1 bicycle parking space must be provided to each 1500 square metres of net floor area for employees associated with the place of assembly. 2 bicycle parking spaces must be provided, and a further 1 bicycle parking space to each 1500 square metres of net floor area for visitors associated with the place of assembly.

The proposed development incorporates rail parking for six (6) bicycles. This number of spaces is likely to cater for staff and visitor demands.

Table 2 of Clause 52.34-5 requires that if 5 or more employee bicycle spaces are required, a specified number of showers must be provided. The proposal is not required to provide 5 or more employee bicycle parking spaces, therefore no showers or changerooms are required to be provided. Notwithstanding, the proposal does include one shower, contained in the universal access W/C.

The proposal complies with the design of bicycle spaces, bicycle rails and bicycle signage at Clauses 52.34-6 and 52.34-7.

The proposal complies with Clause 52.34. No permit requirement is triggered under this clause.

Clause 53.18 Stormwater management in urban development

This clause applies to an application under a provision of a zone to subdivide land, construct a building, or construct or carry out works. The application does not meet any of the listed exemptions. Pursuant to Clause 53.18-3, an application to construct a building or construct or carry out works must meet all of the objectives of Clauses 53.18-5 and 53.18-6, and should meet all of the standards of Clauses 53.18-5 and 53.18-6.

The objectives of Clauses 53.18-5 and 53.18-6 reiterate the strategies listed at Clause 19.03-3S Integrated water management. As discussed in Section 4.1, the proposed building design has less roof area and less impervious surface area than the existing development on the site. Combined with the proposed landscaping, and standard conditions on a permit for all stormwater to be retained on site or directed to the legal point of discharge, the proposal complies with the objectives of Clause 53.18.

The following table provides an assessment of the proposal against the standards and relevant decision guidelines of Clause 53.18.

Standards and Decision Guidelines of Clauses
53.18

Response

Clause 53.18-5 Stormwater management:

Standard W2

The stormwater management system should be designed to:

- Meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).
- Minimise the impact of chemical pollutants and other toxicants including by, but not limited to, bunding and covering or roofing of storage, loading and work areas.
- Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces.

The stormwater management system will be designed to the satisfaction of the responsible authority. This can be ensured by a condition on the permit.

Clause 53.18-6 Site management: Standard W3

An application should describe how the site will be managed prior to and during the construction period and may set out requirements for managing:

- Erosion and sediment.
- Stormwater.
- Litter, concrete and other construction wastes.
- Chemical contamination.

The construction management will be undertaken to the satisfaction of the responsible authority. This can be ensured by conditions on the permit.

Clause 53.18-7 Decision Guidelines:

Before deciding on an application, the responsible authority must consider:

Standards and Decision Guidelines of Clauses 53.18	Response
Any relevant water and stormwater management objective, policy or statement set out in this planning scheme.	The proposal complies with Clause 19.03-3S Integrated Water Management, 21.10-3 Water supply, sewerage and drainage.
The capacity of the site to incorporate stormwater retention and reuse and other water sensitive urban design features.	<p>The site area is 9,899 square metres. The proposed building will cover 1,330 square metres, and the car parking area will cover approximately 1,452 square metres, making an impervious area of approximately 2,782 square metres. The permeable area will be approximately 7,117 square metres, or approximately 72% of the site area.</p> <p>There is ample capacity on the site to incorporate stormwater retention and reuse and other water sensitive urban design features.</p>
Whether the development has utilized alternative water sources and/or incorporated water sensitive design.	The development includes extensive landscaping on the site frontages.
Whether stormwater discharge from the site will adversely affect water quality entering the drainage system.	The amount of stormwater discharge entering the drainage system will be less than the quantities currently generated by the impervious surfaces on the site. The proposal is not considered likely to have any adverse impact on water quality.

Standards and Decision Guidelines of Clauses 53.18	Response
The capacity of the drainage network to accommodate addition stormwater.	Not applicable. The development will result in less stormwater discharging from the site into the drainage network.
Whether the stormwater treatment areas can be effectively maintained.	Not applicable. The proposal does not include stormwater treatment areas.
Whether the owner has entered into an agreement to contribute to off-site stormwater management in lieu of providing an on-site stormwater management system.	Not applicable. Stormwater will be managed by being retained on-site or discharged to the legal point of discharge to the satisfaction of the responsible authority.

The proposal complies with Clause 53.18. No permit requirement is triggered under this clause.

4.6 Notice and review

This application is not exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Planning and Environment Act 1987.

4.7 Cultural heritage sensitivity

The application site is within an area of cultural heritage sensitivity as described in the Aboriginal Heritage Regulations 2018. A Cultural Heritage Management Plan (CHMP) is not required as works are contained to areas which have been significantly disturbed (see **Appendix G**).

5 Conclusion

The proposal has been assessed against the relevant provisions of the Warrnambool Planning Scheme. As a result, conclusive comments are as follows:

- The proposal is appropriately located with the General Residential Zone which seeks to allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.
- The proposal complies with the relevant policies in the Planning Policy Framework, providing a location for social and community use, with a high standard of building design which responds to the residential amenity expectations of the locality. The proposal complements the activity centre precinct and existing infrastructure, and is easily accessible by public transport and bicycle, while providing an appropriate amount of on-site car parking.
- The proposal responds positively to the purpose, objectives and guidelines as set out in the particular provisions of the Warrnambool Planning Scheme relating signage, car parking, bicycle facilities, use and development adjacent to a Road Zone Category One, and urban stormwater management.
- The place of worship will provide an important base for The Salvation Army Warrnambool Corps and its members to undertake a range of activities including specific worship activities (such as Sunday church services, bible study groups, youth church, corps cadets), social and cultural activities (men's group, women's group, choir, brass band), charity activities, and social welfare/community outreach activities.

The assessment undertaken in this report has demonstrated the proposal complies with the Warrnambool Planning Scheme.

We look forward to working with you toward a positive outcome for the application.

Sophia MacRae

Town Planner

Myers Planning Group

ADVERTISED



24 June 2020

Planning Department
Warrnambool City Council
PO Box 198
WARRNAMBOOL VIC 3280

[By email only: planning@warrnambool.vic.gov.au](mailto:planning@warrnambool.vic.gov.au)

Dear Planning Department

Planning Permit Application – 58-60 Mortlake Road, Warrnambool

Please find enclosed a planning application for the above address.

We trust the information contained within this planning application is satisfactory to allow Council to undertake the necessary assessments.

However, should you have any questions or require further information, please do not hesitate to contact me on telephone 03 5562 9443 or sophia@myersplanninggroup.com.au.

Yours sincerely

Sophia MacRae
Planning Consultant
Myers Planning Group

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28th May 2020

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Email: steve@myersplanninggroup.com.au

Dear Sir

Planning and Aboriginal heritage advice in relation to proposed construction of a place of assembly on part of 58-60 Mortlake Road, Warrnambool

Disclaimer - this is not legal advice

Any telephone, email or written advice that I provide to you is not to be misconstrued or relied upon as legal advice.

In relation to this project, it is my role and my intention as an Aboriginal heritage advisor to provide you with practical assistance in relation to Aboriginal heritage matters. Although in this letter I have discussed the practical and operational aspects of the *Aboriginal Heritage Act 2006* and the *Aboriginal Heritage Regulations 2018*, it is incumbent on you to obtain legal advice from appropriately qualified and experienced practitioners to verify any assessments of legal matters made in this or other forms of advice or communication that I may provide.

Any decisions made by the proponent in relation to the proposed activity should be guided by qualified legal advice, as the proponent carries the legal risks in relation to potential breaches of the the *Aboriginal Heritage Act 2006* and the *Aboriginal Heritage Regulations 2018*.

Advice provided

You have sought my advice on planning and Aboriginal heritage matters in relation to construction of a place of assembly within an activity area which is the footprint of previous works and constructions on part of 58-60 Mortlake Road, Warrnambool.

In particular you have asked that I consider whether there may be a statutory requirement for a cultural heritage management plan (CHMP) to be undertaken in relation to this project.

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In consideration of this matter I have carried out background research, checked the public records for registered cultural heritage places and considered the implications of the *Aboriginal Heritage Regulations 2018* and the *Aboriginal Heritage Act 2006*.

Qualification to provide expert advice

I am a qualified Aboriginal heritage advisor, and am recognised as such by the Aboriginal Affairs Victoria, the State Government agency overseeing Aboriginal heritage matters in this State. I hold a Bachelors degree (Botany and Geology), Graduate Diploma in Maritime Archaeology and a Graduate Diploma in Humanities (Aboriginal History & Archaeology). I was formerly a staff archaeologist and Site Registrar with the State Government agency Victoria Archaeological Survey (1984-1989) and have been working as a consultant archaeologist/heritage advisor in Victoria for the past 30 years. Apart from my expertise in Aboriginal archaeology and Aboriginal heritage management, my tertiary studies and practical experience include botany, plant physiology, soil science, geomorphology, 19th Century gold mining history and technology and Aboriginal and colonial historical research.

Executive summary

1. There are no registered cultural heritage places (Aboriginal sites, artefacts etc.) on or near the property. There is no requirement for any Aboriginal heritage permits.
2. The proposed works and constructions for the place of assembly are designated as a 'high impact activity' under the *Aboriginal Heritage Regulations 2018*.
3. It is my professional opinion that within the proposed 'activity area' of future works for the proposed place of assembly on part of 58-60 Mortlake Road, there has already been 'significant ground disturbance' as defined in the *Aboriginal Heritage Regulations 2018*. This disturbance would have occurred during previous works including:
 - installation of major underground utilities (drain and sewer),
 - grass and topsoil removal during site preparation,
 - building site levelling/site-cut and
 - construction work for the tennis centre building and carpark.This work will have resulted in 'significant ground disturbance' as defined in the *Aboriginal Heritage Regulations 2018*. That is, that there has been significant ground disturbance to the entire activity area.
4. The property is mapped as being within an area of cultural heritage sensitivity because the area is located on a geological formation¹ that is listed under Regulation 41(3) of the *Aboriginal Heritage Regulations 2018*, as an area of cultural heritage sensitivity.
5. However, under Regulation 41(2) such areas cannot be an area of cultural heritage sensitivity if they have been affected by significant ground disturbance.

¹ The area is mapped on the *Surface Geology of Victoria 1:250,000 Mapbook* (Victoria, Department of Primary Industries, 2011) as being "Bridgewater Formation, Qxr".

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6. As the activity area has been affected by significant ground disturbance, no part of the activity area is an area of cultural heritage sensitivity.
7. As no part of the activity area is an area of cultural heritage sensitivity, there is no statutory requirement for a cultural heritage management plan to be carried out under Regulation 7 of the *Aboriginal Heritage Regulations 2018*.

Location

58-60 Mortlake Road, Warrnambool is located in the northern part of Warrnambool, on the northeast side of the Breton Street/Mortlake Road corner. At the closest point, the Merri River is approximately 600 metres to the north-northwest and Russells Creek is approximately 250 metres to the south.

LASSI - Land and Survey Spatial Information

Identify Property

- Click on the map to identify information at that point.
- Zoom in on the map to see more detailed information.
- These distances and area are only approximate.

Export

General

LGA: WARRNAMBOOL
Code: 369
Locality: WARRNAMBOOL
Parish: WANGOOM
Code: 3729

Lot / Plan

Lot: 9
Plan: PS402585
SPI: 9\PS402585
SPI Code: 101
PFI: 50012779
ViewPFI: 2090493
DescType: 15
Planning Zone: GENERAL RESIDENTIAL ZONE - SCHEDULE 1 [GRZ1]

Property

LGA: WARRNAMBOOL
PropNum: 136643
Address: 58-60 MORTLAKE ROAD
WARRNAMBOOL 3280
PropPFI: 50012779
Area: 9,901m²

Coordinates

GDA94: 38°22'09.95" S, 142°29'39.7" E
MGA94: 630544, 5752138 (54)
VicRoads: 89 J7 (ed. 8)

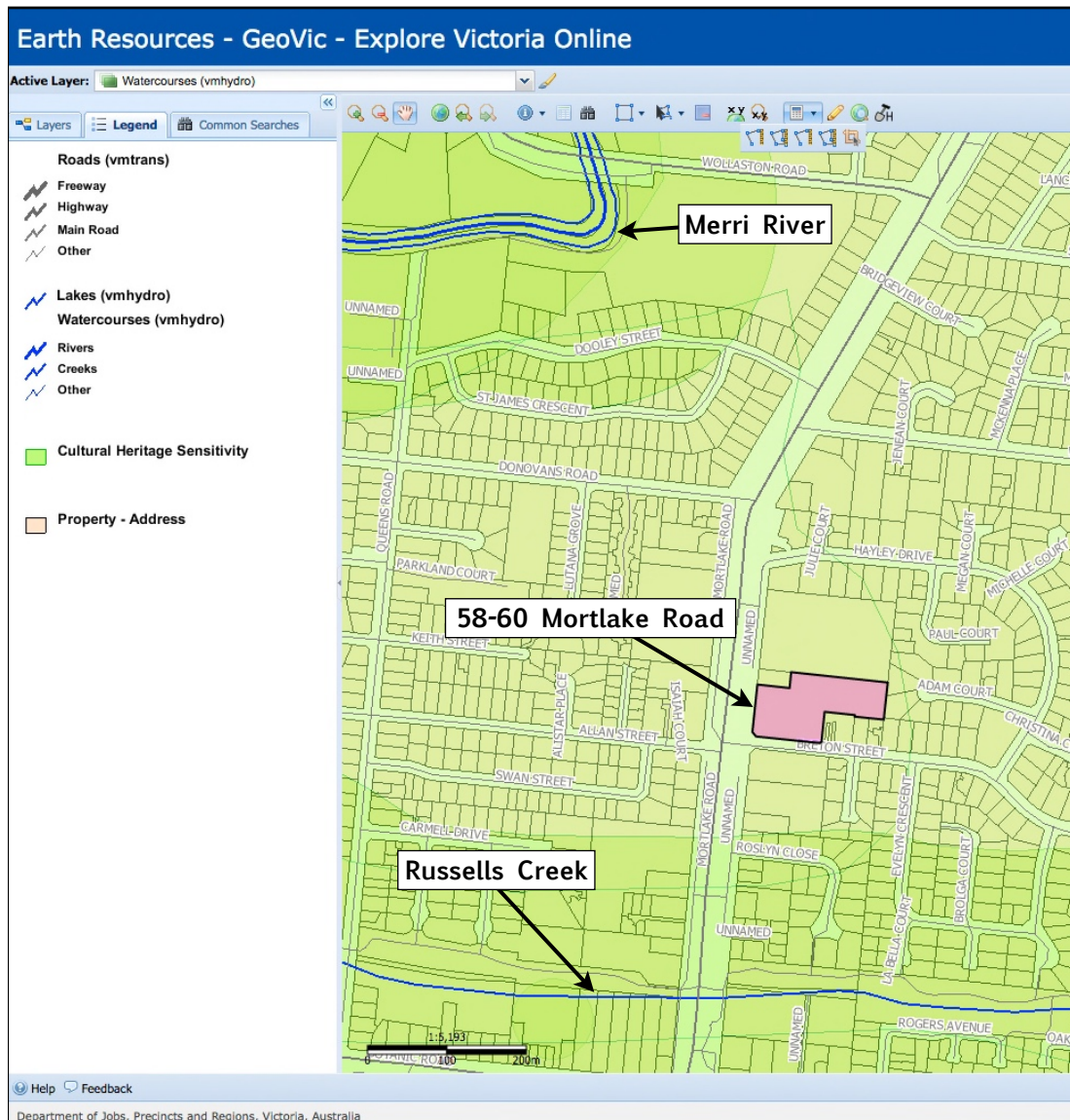
58-60 Mortlake Road

Location map showing 58-60 Mortlake Road (black polygon, arrowed). The property details are shown in the text box on the left.

In terms of geology, the property is mapped as being on a geological formation (Bridgewater Formation, Qxr) which under Regulation 41(3) of the

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Aboriginal Heritage Regulations 2018 may be an area of cultural heritage sensitivity. Potential areas of cultural heritage sensitivity are indicated on State Government mapping by green shading, as shown on the map below.



Map reproduced from the State Government's *Geovic* website, showing 58-60 Mortlake Road lies within a potential area of cultural heritage sensitivity, indicated by green shading.

Areas of cultural heritage sensitivity and significant ground disturbance

Despite the fact that the property is on the Bridgewater Formation and is potentially an area of cultural heritage sensitivity under Regulation 41(3), Regulation 41(2) states that if part of such an area:

*"... has been subject to significant ground disturbance, that part is not an area of cultural heritage sensitivity."*²

² Significant ground disturbance is defined in the Regulations as "disturbance of the topsoil or surface rock layer by machinery in the course of grading, excavating, digging, dredging or deep ripping, but does not include ploughing other than deep ripping."

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The practical consequence of these parts of the Regulations is that areas of cultural heritage sensitivity are effectively erased by significant ground disturbance.

Significant ground disturbance during installation of underground utilities and original tennis centre and carpark construction

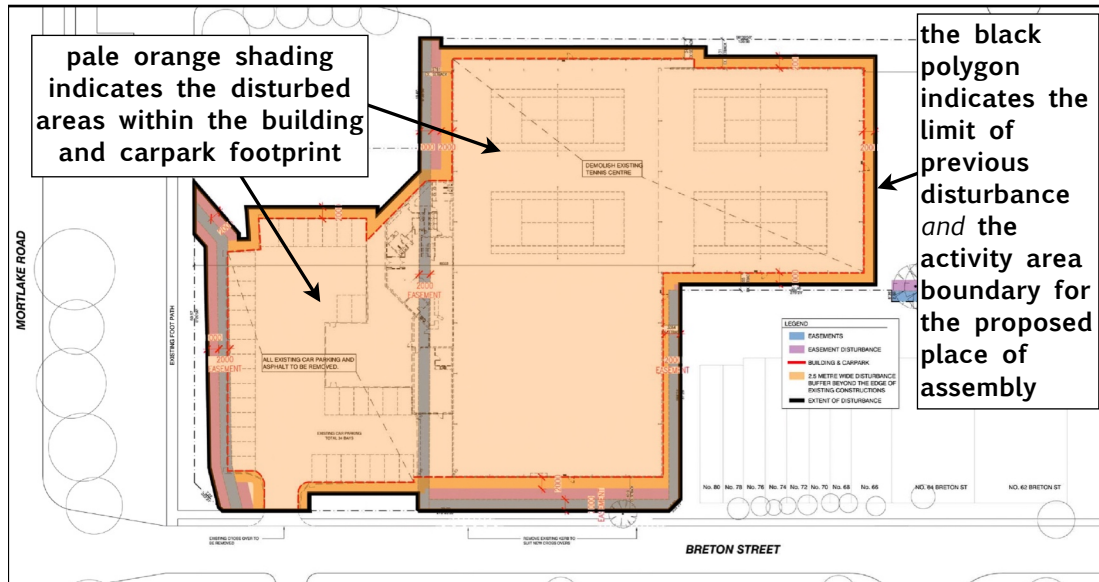
- The sequence of available historical air photos shows that the site was undeveloped in 1948 and 1969. The low resolution 1979 air photo appears to show the existing tennis centre buildings. I conclude from this and the state of the vegetation around the building that the tennis centre was originally constructed 1-2 years prior to 1979.
- The current Google Earth image shows the site is occupied by the large tennis centre building with the bitumen car park on the west side.
- Original construction work for the carpark and tennis centre building must have initially involved machinery removal of the grass and some topsoil, as part of initial site preparation.
- It is likely that the original construction of the building and carpark involved a site-cut and level from the Mortlake Road frontage through to the eastern side of the property.
- I have conservatively assumed that the footprint of previous ground disturbance from the site-cut/levelling and installation of adjacent services, drains etc. would have extended 2.5 metres out beyond the edge of the footprint of the existing building and carpark (see plan on the following page).
- There are a number of major underground utilities running through the property, including a large drain on the west side of the carpark and a sewer running along the western edge of the tennis centre building.
- I have conservatively assumed that there has been at least 2.5 metres width of surface disturbance (centred on the pipe) associated with the excavation of the trenches for each of these underground utilities³.
- The footprint of proposed works and constructions (called the 'activity area' under the *Aboriginal Heritage Regulations 2018*) for the place of assembly is entirely contained within the logical footprint of previous disturbance from site preparation (grass and topsoil removal) and construction of the tennis centre building, carpark and underground utilities. As this construction work must have involved disturbance of the topsoil by machinery engaged in grading, excavating and digging, the disturbance of the entire activity area for the proposed place of

3 Civil engineering information provided to me by project architect James Millar shows depths below ground level (top of pipe) for these utilities are 970-2050 mm for the sewer and 730-950 mm for the drain. Trenching for pipe laying in the 1960s-1980s involved 'benching' or 'stepping out' the excavated trench to avoid the dangers associated with personnel working adjacent to a tall vertical face. Typically the benching was 1:1, so a trench would be excavated so that it was 1 metre wide for every 1 metre of depth. If the trench was at least 1 metre deep and the base of the trench was 500 millimetres wide, the total width of the trench at the surface would have been 2.5 metres. Ground surface reinstatement after backfilling these trenches would have extended beyond this assumed 2.5 metre width, so it's likely that the footprint of disturbance was wider than 2.5 metres along the length of each trench.

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assembly, meets the definition of significant ground disturbance in the *Aboriginal Heritage Regulations 2018*⁴.

- As previously noted, areas of cultural heritage sensitivity are effectively erased by significant ground disturbance, because an area cannot be an area of cultural heritage sensitivity if it has been affected by significant ground disturbance. Thus, no part of the activity area is an area of cultural heritage sensitivity.



Plan showing the existing structures (carpark, building and easements for underground utilities) within the activity area boundary. The black polygon marked on the plan indicates both the activity area boundary and the limit of significant ground disturbance: it runs on the outside of a logical 2.5 metre wide buffer of disturbance beyond the edge of the existing building, carpark and underground utility trenches.

On this plan, the blue and purple areas indicate the easements and disturbance within the easements for construction of sewers and drains; the dark orange areas indicate the disturbance around the perimeter of the existing building and carpark.

The activity area is entirely within the logical footprint of significant ground disturbance

The black polygon on the plan above indicates the logical footprint of significant ground disturbance from the original constructions on the site: major underground utilities, the tennis centre building and the carpark. This black polygon also shows the limit of all proposed works and constructions for the place of assembly: it is the *activity area boundary*.

The activity area for the proposed place of assembly is entirely within the area which has been previously affected by significant ground disturbance: the activity area cannot be an area of cultural heritage sensitivity.

⁴ Significant ground disturbance is defined in the Regulations as “disturbance of the topsoil or surface rock layer by machinery in the course of grading, excavating, digging, dredging or deep ripping, but does not include ploughing other than deep ripping.”

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Types of evidence of significant ground disturbance

The VCAT decision in *Mainstay Australia Pty Ltd v Mornington Peninsula SC & Ors* (Red Dot) [2009] VCAT 145 established that there are potentially four “levels of enquiry” (essentially, categories of evidence) that could be considered in relation to significant ground disturbance. Any of these, individually or in combination, may be used to demonstrate that there has been significant ground disturbance to an area. These categories are:

- level 1 - common knowledge
- level 2 - publicly available records
- level 3 - further information
- level 4 - expert advice or opinion

The discussion of these levels of enquiry has also been incorporated into the *Aboriginal Heritage Act 2006 Practice Note: significant ground disturbance* (Aboriginal Victoria, no date).

Note: this document (and the original VCAT decision on which it is based) clearly state that not all levels of inquiry need to be used in all cases. Rather, the level of inquiry used should be the lowest possible level, on a case by case basis, that provides evidence whereby the responsible authority can be reasonably satisfied, on the balance of probabilities, that significant ground disturbance has occurred.

Evidence of significant ground disturbance only required to be “on the balance of probabilities” - “absolute proof” is not required

The VCAT Red Dot decision in the case of *Azzure Investment Group Pty Ltd v. Mornington Peninsula SC 2009 (VCAT 1600)* establishes the validity of the use of comparative and contextual information to provide a reasonable level of satisfaction (for the responsible authority) that “*on the balance of probabilities in a given case*”, significant ground disturbance has taken place. “*This standard of proof may be met without there being absolute proof beyond doubt of mechanical disturbance by grading, excavation etc of every square metre of the lot.*”

Level of evidence provided in relation to significant ground disturbance to part of 58-60 Mortlake Road Warrnambool

The evidence provided in this report can be categorised as:

- Level 1 evidence - common knowledge

It is self-evident that the original machinery work associated with the excavation for major underground utilities through the property (drain and sewer), grass and topsoil removal as part of construction site preparation and levelling/site-cut work for the tennis centre and carpark construction, will have resulted in machinery disturbance of the entire footprint of the underground utilities, building and carpark. In addition there will have been disturbance of an additional buffer area around the utility trenches, carpark and tennis centre building.

- Level 4 evidence - expert opinion or advice

Considering my knowledge and observations of building practices

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through 40 years of professional life and with specific reference to engineering information provided by project architect James Millar and my discussions with him, I have made a conservative assessment of the extent of significant ground disturbance of the activity area for the proposed place of assembly.

- I have assumed that as an initial step in the original construction of the carpark and tennis centre building, the entire area of existing constructions had machinery disturbance of the ground surface during initial grass and topsoil removal and probably also some degree of site-cut and site levelling.
- I have assumed that the footprint of the concrete-floored building and of the bitumen carpark were disturbed by machinery in the course of those constructions. For the carpark, this would have involved removal of topsoil and laying/compacting crushed rock under the bitumen; for the tennis centre building, this would have involved excavation for the formwork and mesh beneath the concrete floor of the building.
- I have conservatively assumed that the machinery disturbance extends beyond the edge of the building, carpark and major utility trenches for at least 2.5 metres.
- As a consequence, I have assumed that the ground surface of the activity area for the proposed place of assembly would have been disturbed by the original grass and topsoil removal, site-cut/levelling and trenching across the entire footprint of the existing building, carpark and major utility trenches, plus an additional distance of 2.5 metres in all directions beyond the edge of the building, 2.5 metres in all directions beyond the edge of the carpark and for a total width of 2.5 metres, centred on the pipe in the drain and sewer trenches.

It is my professional opinion therefore, that the entire activity area for the place of assembly that is proposed for construction on part of 58-60 Mortlake Road, has been subject to significant ground disturbance as defined in the *Aboriginal Heritage Regulations 2018*.

The level of evidence provided in this report satisfies the evidentiary requirements of Aboriginal Victoria's *Aboriginal Heritage Act 2006 Practice Note: Significant Ground Disturbance*. See also *Mainstay Australia Pty Ltd v Mornington Peninsula SC & Ors (includes Summary) (Red Dot) [2009] VCAT 145*.

In making this statement, I draw the reader's attention to the direction contained in both the original *Mainstay* decision and Aboriginal Victoria's Practice Note in relation to the level of enquiry/evidence required. That direction is that "*an assessment of whether significant ground disturbance has occurred should be dealt with at the lowest possible level in order to avoid unnecessary delay or cost to applicants*".

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Registered Aboriginal heritage

On your behalf I have examined the available records of Aboriginal heritage for the locality⁵ and reviewed my knowledge of relevant data from other projects that I've conducted in the area. There are no registered cultural heritage places (Aboriginal sites etc.) recorded on the Victorian Aboriginal Heritage Register that are located on the activity area at 58-60 Mortlake Road, Warrnambool. There are no registered cultural heritage places on the activity area and there is currently no requirement for any permits to harm Aboriginal heritage.

Aboriginal Heritage Regulations 2018 as they apply to the proposed place of assembly

Unless directly required by the Minister, or unless an Environmental Effects Statement is required⁶, the possible statutory requirement for a CHMP is dealt with under Regulation 7 of the *Aboriginal Heritage Regulations 2018*. Under this Regulation there are two triggers, both of which must be activated, for there to be a statutory requirement for an Aboriginal Cultural Heritage Management Plan to be prepared and approved prior to statutory approvals being granted. The two triggers are:

- that the proposed activity is listed in the Regulations as a *high impact activity* and
 - that the proposed activity is in an area defined by the Regulations as being an *area of cultural heritage sensitivity* where there has not been *significant ground disturbance*.
- a) High impact activity? Under Regulation 46(1)(b)(xviii) of the *Aboriginal Heritage Regulations 2018* the construction of a place of assembly is a high impact activity.

The first trigger **is** activated by the proposed place of assembly.

- b) Area of cultural heritage sensitivity? Although the activity area has the potential to be an area of cultural heritage sensitivity under Regulation 41(1) of the *Aboriginal Heritage Regulations 2018*⁷, as a result of significant ground disturbance that has occurred across the entire activity area, there are no remaining areas of cultural heritage sensitivity on the activity area (Regulation 41(2)).

The second trigger **is not** activated.

5 Aboriginal Victoria's ACHRIS (Aboriginal cultural heritage registry information system) on-line maps.

6 Under S. 48 and 49 of the Aboriginal Heritage Act 2006: neither of these apply in this case.

7 Regulation 41 relates to areas of sand sheets, including the Cranbourne Sands.

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As only one of the two required triggers is activated, there is no statutory requirement for a cultural heritage management plan to be prepared in relation to construction of the proposed place of assembly on part of 58-60 Mortlake Road, Warrnambool.

Conclusion

- There are no registered cultural heritage places on the activity area and there is currently no requirement for any permits to harm Aboriginal heritage.
- As the entire activity area for the proposed activity has been affected by significant ground disturbance, there is no requirement for a cultural heritage management plan to be carried out under Regulation 7 of the *Aboriginal Heritage Regulations 2018* in relation to the proposed place of assembly on part of 58-60 Mortlake Road, Warrnambool.

If you require any further information or assistance, please contact me anytime on 0418-548-559 or email to clarkeology@bigpond.com

Yours faithfully

Nicholas Clark

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**PROPOSED DEVELOPMENT
58-60 MORTLAKE ROAD, WARRNAMBOOL**

Transport Impact Assessment Report



efficient safe reliable    

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PREPARED FOR

The Salvation Army

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1 Introduction

1.1 Overview

A planning permit is being sought for a development at 58-60 Mortlake Road, Warrnambool. To assist in the consideration of the development proposal, ESR Transport Planning has been engaged to assess relevant transport implications.

1.2 Scope of This Report

This report documents a transport impact assessment which investigates the following:

- Existing transport conditions in the vicinity of the site.
- Statutory transport planning requirements.
- Parking demands generated by the proposed land use.
- Anticipated impacts on local car parking conditions.
- Traffic movements generated by the proposed land use.
- Site access arrangements.
- Anticipated impacts on the surrounding road network.

1.3 Referenced Information

- Plans prepared by JMA Architects dated 19/05/20.
- Inspections of the site and surrounds August 2018.
- Advice from The Salvation Army & Myers Planning Group regarding the proposed development.
- Australian Standards, AS2890, *Australian Standard for Parking Facilities*.
- Public Transport Victoria, maps and timetables (www.ptv.vic.gov.au).
- VicPlan maps and aerial photography (www.mapshare.vic.gov.au/vicplan).
- VicRoads traffic volume and Crashstats accident data (www.data.vic.gov.au).
- Warrnambool Planning Scheme.
- Warrnambool City Council, *Register of Public Roads*, 2017.

1.4 Terms

- | | | | |
|-----------|--------------------------|------------------|----------------------------|
| • Council | Warrnambool City Council | • m ² | square metres |
| • GFA | gross floor area | • NFA | net floor area |
| • kph | kilometres per hour | • vph | vehicle movements per hour |
| • LFA | leasable floor area | • vpd | vehicle movements per day |
| • m | metres | | |

2 Existing Conditions

2.1 Site

The proposed development site is located northeast of the intersection of Mortlake Road and Breton Street. The property has buildings and an on-site carpark and is the premises of an indoor tennis centre. The tennis centre has a total building floor area of approximately 4,450m² with 7 courts and associated retail (pro-shop and café), remedial massage services and a boxing and fitness gymnasium. It operates 7 days a week. An on-site carpark has 42 spaces with access from a Breton Street vehicle crossing.

The Northpoint Shopping Centre neighbours the site to the north which is within a Commercial 1 zone. The site and other surrounds are within a General Residential 1 zone. An indoor sports centre (netball and cricket) is located on the opposite side of Breton Street which operates 7 days a week and has a 35 space on-site carpark with access from Breton Street opposite the site's access. There are retail and commercial premises together with a CFA depot on the opposite side of Mortlake Road. The majority of other surrounding properties are residential.

Figure 2.1 Subject Site Locality Map

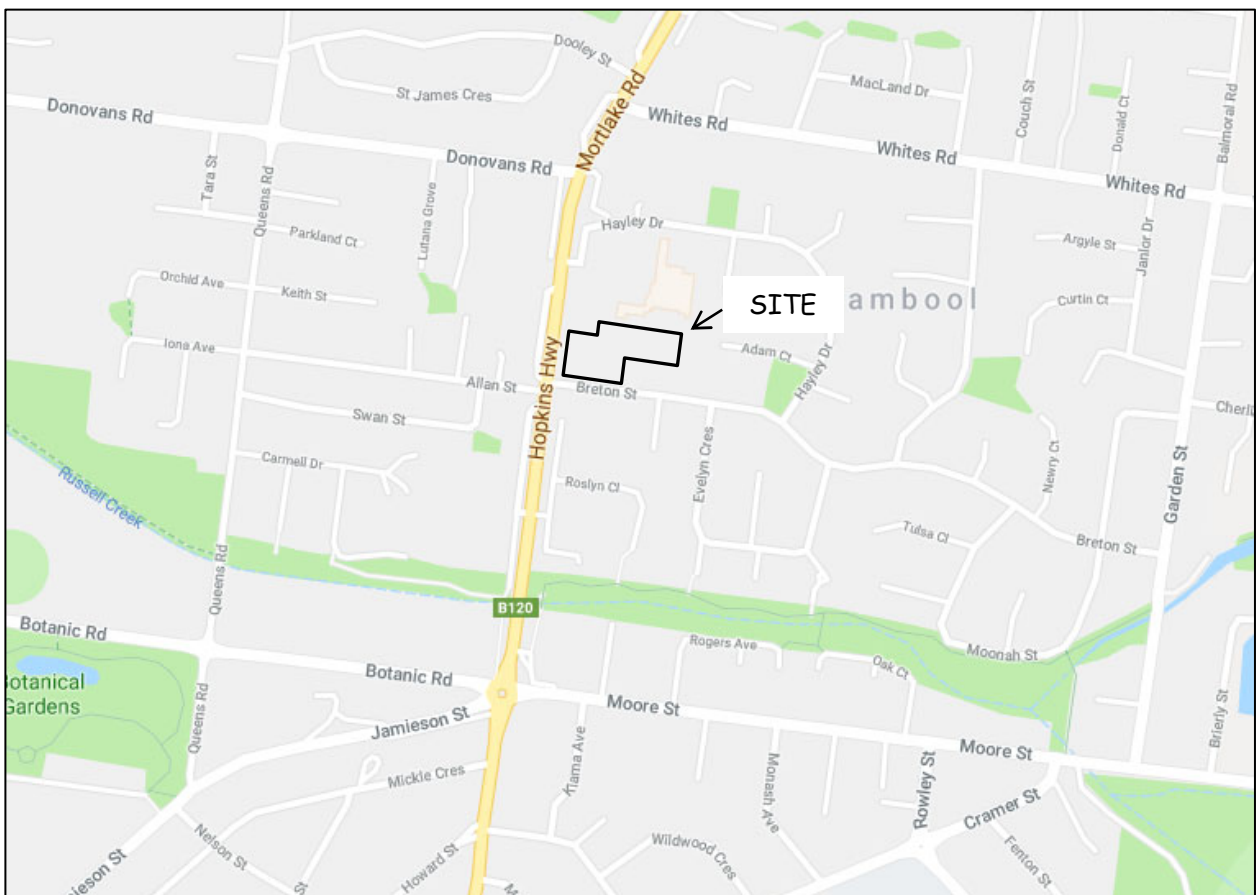


Image source: Google Maps

Figure 2.2 Subject Site and Surrounds Aerial Photo

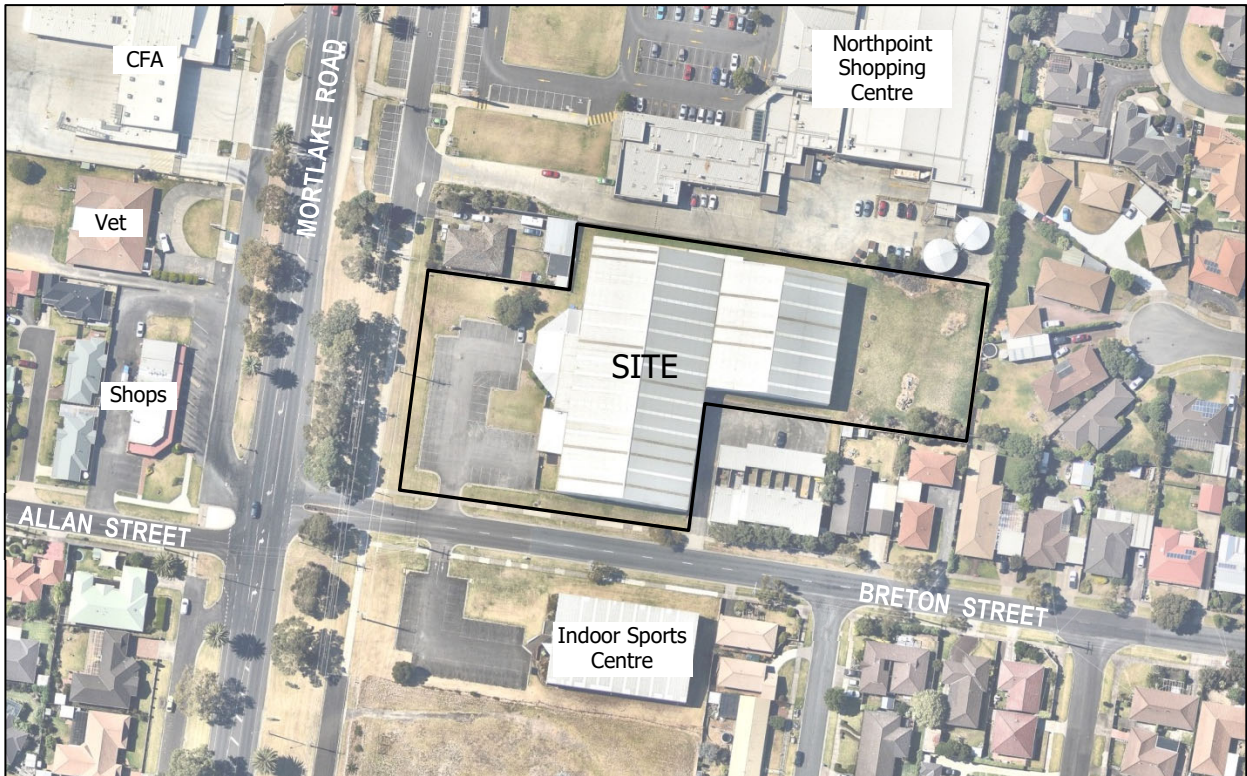


Image source: Nearmap

2.2 Road Network

Breton Street is classified as a Collector Road and a default 50kph speed limit applies. Within a 17m road reserve, its cross section includes footpaths on both sides and an approximately 8.5m wide carriageway with centre linemarkings and kerbside parking permitted on both sides¹.

Figure 2.3 Breton Street (facing east from Mortlake Road, site on left)



¹ It is noted that current design guidelines set out that carriageways of approximately 8.0-9.5m width are undesirable given possible driver uncertainty whether or not passing vehicles fit between parked cars. In Breton Street, many instances of vehicles parking on the nature strip have been observed.

Mortlake Road is classified as an Arterial Road (Road Zone Category 1, managed by VicRoads) and a 60kph speed limit applies. Within a 60m road reserve, it generally has service roads on both sides and a main carriageway accommodating a traffic lane and bicycle lane in each direction. The centre of the carriageway has a painted median or right turn lanes at nearby intersections. The footpath on the east side is a shared path (pedestrian & cyclist).

Figure 2.4 Mortlake Road (facing south towards Breton Street intersection)



Allan Street is classified as an Access Road and a default 50kph speed limit applies. Within a 16m road reserve, its cross section includes footpaths on both sides and an approximately 7.3m wide carriageway with centre linemarkings and kerbside parking permitted on both sides.

Breton Street and Allan Street form give-way controlled T intersections with Mortlake Road. Their alignments form staggered T intersections (left-right formation) separated by approximately 13m (centre to centre). Right turn lanes are provided from Mortlake Road which are aligned face to face, resulting in overlapping right turn vehicle paths as shown in Figure 2.5. A Service Road entry and exit are also proximate to these intersections.

Figure 2.5 Aerial Photo of Mortlake Road Intersections with Breton Street and Allan Street

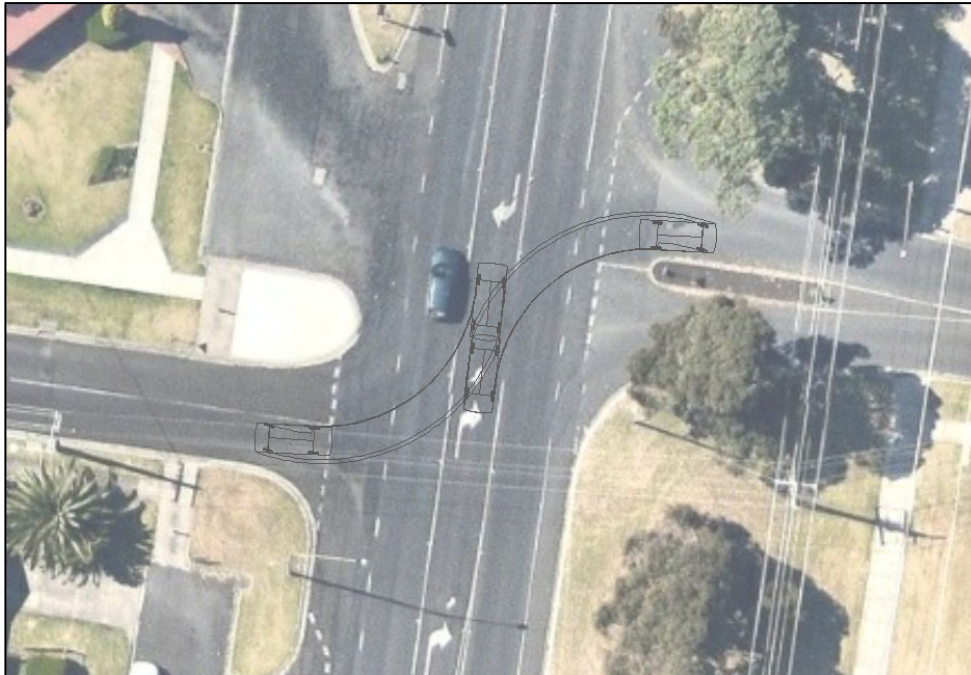


Image source: Nearmap

In regard to the Mortlake Road intersections with Breton Street and Allan Street, the following is noted:

- A left-right intersection stagger with face to face right turn lanes is uncommon given operational and safety shortcomings.
- During site inspections, driver courtesy was observed where the first of 2 vehicles arriving in opposite right turn lanes was given priority to turn first.
- Motorists at the give-way line have a relatively difficult task assessing gaps in opposing traffic due to numerous opposing vehicular movements in close proximity. Vehicles in this position were observed having long delays during peak times, exacerbated by waiting for traffic in the right turn lanes.

2.3 Traffic Volumes

Traffic volume data has been collated from a variety of sources as follows:

- VicRoads traffic volume data for Mortlake Road².
- Council traffic volume survey data for Breton Street and Allan Street.
- A peak period turning movement survey at the Mortlake Road intersections with Breton Street and Allan Street, Tuesday 21/08/18 between 5:00-6:00pm and Wednesday 22/08/18 between 8:15-9:15am.

Mortlake Road accommodates traffic volumes in the order 7,300 - 8,100 vpd (weekdays), 7,000 vpd (Saturday) and 5,000 vpd (Sunday).

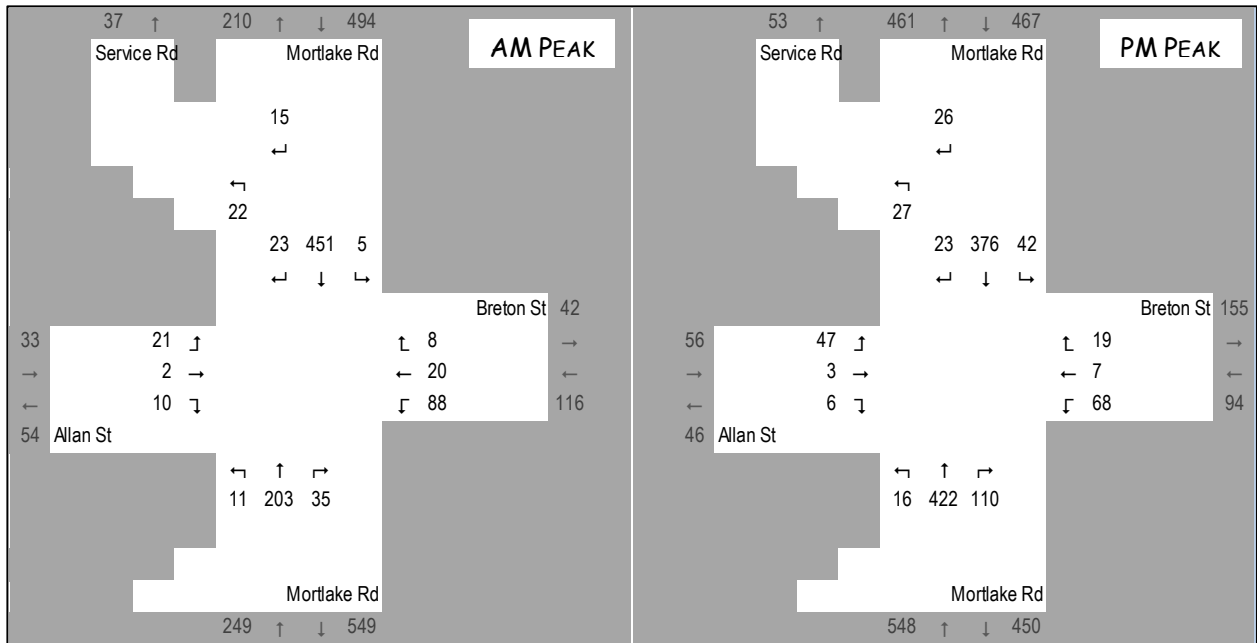
² VicRoads Typical Hourly Database, between Conheadys Road and Banyan Street (www.data.vic.gov.au).

Breton Street accommodates weekday traffic volumes in the order 1,900 vpd near Mortlake Road.

Allan Street accommodates weekday traffic volumes in the order 950 vpd near Mortlake Road.

Weekday peak hour traffic volumes at Mortlake Road intersections are shown in Figure 2.6.

Figure 2.6 Existing Peak Hour Intersection Traffic Volumes



2.4 Accident History

A review of road accidents in the site's vicinity has been undertaken using VicRoads Crashstats database³ which includes accidents reported to police which resulted in personal injury within the last 5 years. The review investigated Breton Street, Allan Street and Mortlake Road (between Donovans Road and Russell Creek).

No accidents were recorded along Allan Street. One accident was recorded along Breton Street; a pedestrian struck by vehicle between Maneroo Court and Evelyn Crescent (non-serious injury severity). On Mortlake Road, 5 non-serious injury severity accidents have been recorded as follows; Two right turning vehicle collisions at the Donovans Road intersection. Two right turning vehicle collisions at the Northpoint Shopping Centre access intersection (1 alcohol related). And an out of control (overtaking) collision near Russell Creek.

Accordingly, this review provides no evidence of an accident cluster or recurrent accident pattern along Breton Street or at the Mortlake Road / Breton Street intersection.

2.5 Car Parking

Parking restriction signage is generally not present in the site's vicinity so unrestricted on-street car parking is permitted in accordance with the Road Rules.

³ VicRoads Crashstats Last 5 Years database (www.data.vic.gov.au).

Parking demand surveys have been conducted at various times over the 3-day period Monday to Wednesday 20-22/08/18 capturing nearby on-street demands as well as demands at the site and opposite indoor sports centre.

In addition, Nearmap aerial photographic images provide an historical record of parking activity during the daytime. The 6 most recent images (2018-2020) have been reviewed.

Full details of the survey data is presented in Appendix A.

Key outcomes:

- On-street parking demands in the site's vicinity are typically very low with numerous vacant spaces available within each road segment at all surveyed time periods.
- Both the tennis centre and netball & cricket centre experienced very low demands during the daytime with demands increasing late afternoon to very high levels during early evening.
- The tennis centre's carpark was observed as full at 7:00pm.
- At 7:00pm the netball & cricket centre's carpark was observed as almost full (occupancy of 31 vehicles / ~90%) and a further 7 vehicles were parked on grassed areas of the property.
- On Breton Street, between Mortlake Road and Maneroo Court, a peak demand of 5 vehicles was recorded at 7:00pm.

2.6 Public Transport, Walking & Cycling

Bus service Warrnambool to Gateway Plaza Shopping Centre (Route 2) operates along Allan Street and Mortlake Road to the north of Allan Street. Bus stops are located on Mortlake Road near the northwest corner of the site (southbound within main carriageway and northbound within Service Road).

Mortlake Road provides on road bicycle lanes and a shared path (pedestrian and cyclist) along its east side.

Other nearby roads typically have footpaths along both sides.

3 Proposed Development

The proposed development will involve demolition of existing buildings and carpark. A new 1330m² building is proposed in the west of the site that is to be used as a place of worship for The Salvation Army. It contains a main worship area, youth hall, storage areas, offices and amenities. The maximum number of patrons proposed on-site at any one time is 188. The Salvation Army hold services (worship) on a Sunday.

An office area of approximately 250m² will provide space for administration and community services staff with a maximum of approximately 20 staff anticipated on-site at any one time Monday to Friday.

A new on-site carpark is proposed adjacent the building with a total space provision of 58 car parking spaces, including 2 disabled spaces. This provision includes 2 spaces in front of a service vehicle parking area adjacent a waste bin enclosure. It is intended that these spaces would be sign posted as “No Parking Mon-Sat” or similar, enabling their use during Sunday worship while being vacant other times for service vehicle access.

The existing vehicle crossing will become redundant and will be removed. A new vehicle crossing to Breton Street is proposed a short distance east of the existing crossing.

Bicycle parking is proposed with 3 rails (6 spaces) located near the southeast corner of the building.

4 Parking Assessment

4.1 Car Parking

Clause 52.06 (Car Parking) of the Warrnambool Planning Scheme sets out planning controls with respect to car parking and Table 1 to Clause 52.06-5 specifies standard parking provision rates for various land uses. The Planning Scheme also states that the standard provision can be reduced or fully waived.

For a place of assembly (including place of worship), a standard provision rate of 0.3 spaces per patron permitted is specified which equates to a requirement for the provision of 56 spaces as part of the proposed development.

The proposed development satisfies this standard provision requirement.

Check for Ancillary Office Use

For an office land use, the standard provision rate is 3.5 spaces per 100m² NFA. If applied to the proposed ancillary office area, this would yield a 9 space requirement which is also satisfied by the proposal.

4.2 Bicycle Parking

Clause 52.34 (Bicycle Facilities) of the Warrnambool Planning Scheme sets out planning controls with respect to the provision of bicycle facilities such as parking and change room

facilities. Table 1 to Clause 52.34-3 specifies provision rates for various land uses. An assessment of the bicycle facility requirements for the proposed development using Planning Scheme rates is presented in Table 4.1.

A permit can be granted to vary, reduce or waive these requirements.

Table 4.1 Planning Scheme Bicycle Facility Requirements

LAND USE & QUANTITY	EMPLOYEE PARKING RATE	VISITOR PARKING RATE	EMPLOYEE REQUIREMENT #	VISITOR REQUIREMENT *
place of assembly (worship), 1,330m ² GFA	1 / 1,500m ² NFA	2 + 1 / 1,500m ² NFA	1 space	3 spaces

Employee parking must be within a locker or lockable compound. If at least 5 employee spaces are required, 1 shower with direct access to a change room is required, plus 1 shower to each 10 spaces thereafter.

* Visitor parking must be at a bicycle rail.

Table 4.1 sets out that a standard bicycle parking provision of 1 employee space and 3 visitor spaces applies to the proposed development.

The proposed development incorporates rail parking for 6 bicycles. This number of spaces is likely to cater for staff and visitor demands.

While ideal arrangements for staff would be a dedicated secure and undercover facility. The method of travel to work in Warrnambool is less than 1% by bicycle (Census data). Therefore, staff bicycle parking needs could be anticipated to be very low if any. And the proposed building incorporates various store rooms which could facilitate convenient, secure and sheltered parking if necessary.

Check for Ancillary Office Use

For an office land use, Clause 52.34 specifies bicycle parking provision requirements only when proposed floor area exceeds 1,000m² NFA. Therefore, bicycle parking requirements are not applicable to the proposed ancillary office area.

5 Traffic Assessment

The volume of vehicle movements to / from the proposed development is likely to be significantly lower than those currently being generated by existing use of the site.

Accordingly, no significant impacts to efficient operation of the surrounding road network could be expected due to the proposed development.

It is noted that some existing shortcomings with respect to the layout of the surrounding road network exist as noted in Section 2 of this report. However, they are not of a significance that would dictate any requisite on the proposed development.

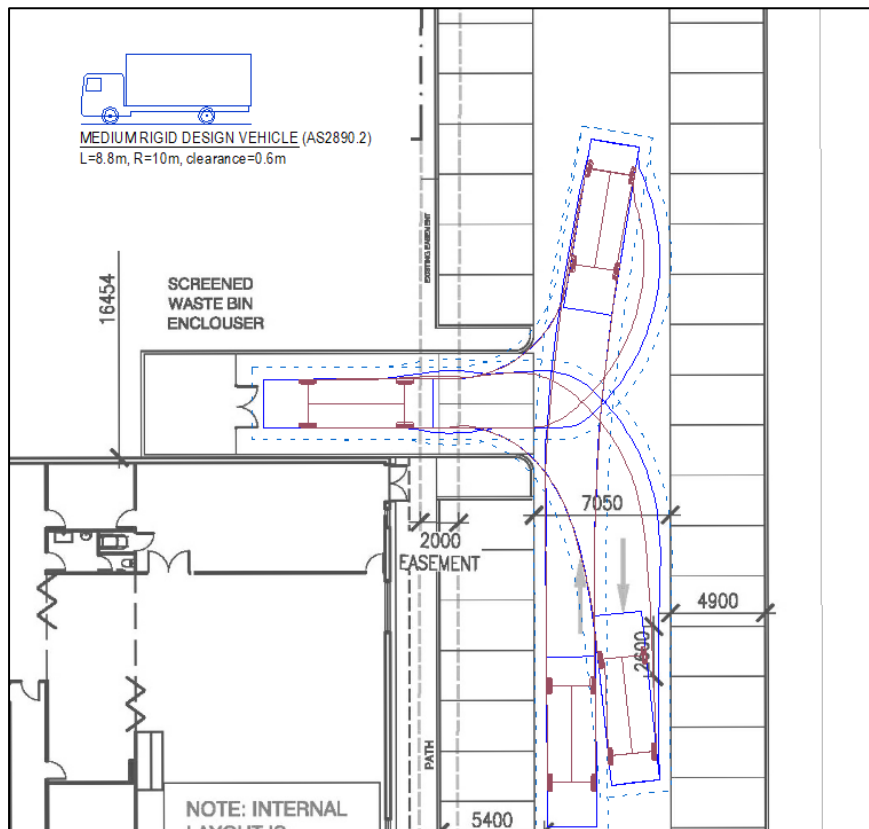
6 Design Review

A design review of development plans has been undertaken with reference to the Warrnambool Planning Scheme, the Australian Standard for Parking Facilities (AS2890) and the results of vehicle swept path simulations.

The review identified the following:

- Parking space and access aisle dimensions are in accordance with Planning Scheme dimensions (and Australian Standard for disabled spaces).
- Swept path analysis as shown in Figure 6.1 shows that a 8.8m Medium Rigid design Vehicle⁴ (MRV) that is representative of medium trucks (e.g. garbage truck) can enter and exit the site in a forwards direction and conveniently access the proposed waste bin enclosure area.

Figure 6.1 MRV Swept Path Analysis Diagram



- The proposed vehicle crossing is located where road approaches are straight and flat and good sight lines are afforded.

Accordingly, proposed car parking and access facilities could be expected to accommodate safe and efficient operational outcomes.

⁴ The design vehicle MRV is defined within Australian Standard (AS2890.2).

7 Conclusions

The following conclusions have been made within this report:

1. The proposed development satisfies Clause 52.06 standard car parking provision requirements.
2. The development proposal is not expected to compromise the safe and efficient operation of the surrounding road network.
3. Proposed on-site car parking and access facilities could be expected to accommodate safe and efficient operational outcomes.

Appendix A Car Parking Survey Data

Table A1 Car Parking Survey Data

				Nearmap Image Data						ESR Surveys												
Location	Segment	Side	Restrictions	Supply	Thu	Tue	Sat	Fri	Fri	Sat	Wed	Wed	Tue	Wed	Mon	Mon	Tue	Tue	Mon	Tue	Mon	
					26/3/20	1/10/19	18/5/19	11/1/19	12/10/18	7/4/18	22/8/18	22/8/18	21/8/18	22/8/18	20/8/18	20/8/18	21/8/18	21/8/18	20/8/18	20/8/18	16:00	17:00
Breton St	Mortlake Rd - Maneroo Ct	North		15	1	1	2	2	2	2	2	1	2	1	0	0	2	2	2	2	2	5
		South		13	0	0	1	0	1	1	0	0	0	0	0	1	0	1	1	0	2	1
Maneroo Ct	Breton St - end	both		9	1	2	1	2	3	2	2	1	1	0	1	1	2	2	2	2	2	
Breton St	Maneroo Ct - Evelyn Cr	both		9	2	1	3	1	0	0	0	0	0	0	0	0	0	0	0	0	0	
Service Rd East	Northpoint entry - end	both		33	11	11	3	10	11	6	2	10	18	13	20	13	13	12	10	5	4	
Service Rd East	Breton St - Roslyn Cl	both		12	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	
Service Rd West	Northpoint entry - Allan St	both		22	2	5	9	6	4	5	2	4	7	4	5	6	3	3	2	3	0	
Service Rd West	Allan St - Roslyn Cl	both		12	0	5	4	4	1	3	2	2	10	1	2	2	2	3	0	2	0	
Total On-Street				125	17	25	23	25	22	20	10	18	38	19	29	22	23	23	16	16	12	
Tennis Centre (site)				42	0	16	0	1	4	0	0	2	2	9	7	2	18	19	23	25	42	
Indoor Netball / Cricket				35	0	0	13	0	1	0	0	0	2	0	0	0	14	21	10	28	38	

Legend: Occupancy of... 0-50% 51-70% 71-85% 86-100% >100%

Note: Evening parking demands at the indoor netball centre includes up to 7 cars parking on grassed areas of the site (ie. demands exceed supply).

EXTERNAL COLOURS & FINISHES SCHEDULE - GENERAL

Date	10.04.2020	Project No	14054
Project	Salvation Army- Warrnambool	Revision	-



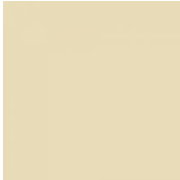
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GENERAL					
BL		External Blockwork	Name: Boral Blocks Size: 190x190x90 Finish: 'Smooth Face'	Boral Blocks https://www.boral.com.au/sites/default/files/media/field_document/15602_Boral_Designer_Block_Guide_FINAL.pdf	
AL1		Canopies , Facade	Product: Lysaght Colourbond Longline 305 'Plain' pan Colour : Monument	Lysaght https://www.lysaght.com/products/lysaght-longline-305	-
PC1		General Aluminium Door and Window Frame	Name: Monument Finish: Satin	Dulux Powdercoatings www.dulux.com.au	-
PC2		General Door Colour	Name: Monument Finish: Satin	Dulux Powdercoatings www.dulux.com.au	-
TB1			Range: Colour: American Oak SIZE: 150 X 50	www.decorativeimaging.com.au	
GL1		Glazing	Item: External Double glazing Name: Performatech Clear 206 U value: 1.3 SHCC: 0.33 VLT: 68%	Viridian Glass www.viridianglass.com.au	
EX1		Compressed Fibre Cement Sheet Cladding	Name: Code: Finish:	www.wattyl.com.au	

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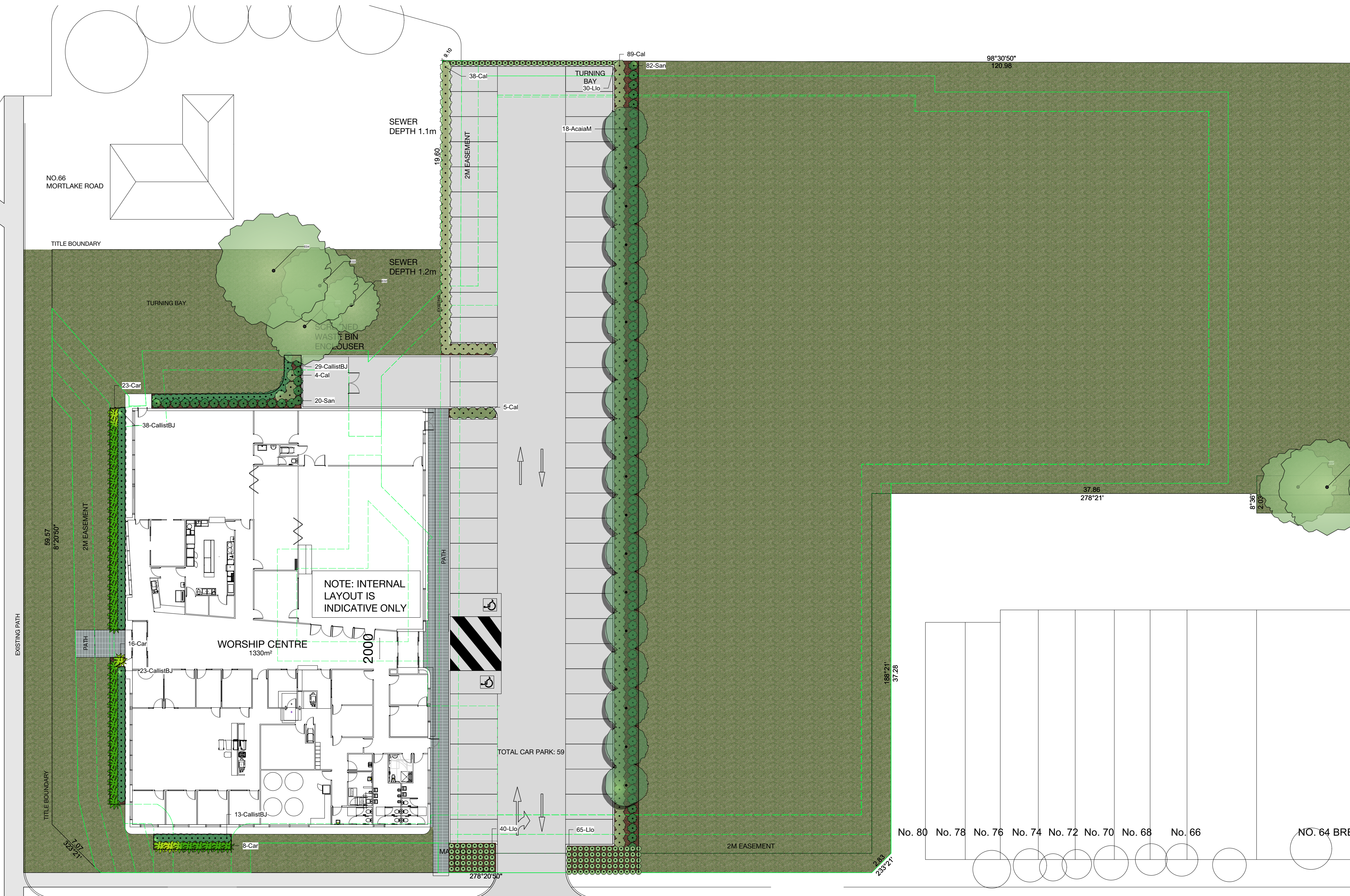
Code	Image	Location	Description	Suggested Supplier	Comments
CB1		Roof	Name: Surfmist Code: - Finish: Standard	Colorbond www.colorbond.com.au	
CB2		Flashing to Main Roof	Name: Monument Code: - Finish: Standard	Colorbond www.colorbond.com.au	
P1		External paving - paths	Name: Boral Exposed concrete Size: - Finish: 'Sundown'	Boral https://www.boral.com.au/products/concrete/decorative-concrete/exposed-concrete	

EXTERNAL SIGNAGE SCHEDULE – FACADE SIGNS

Date	11.03.2020	Project No	14054
Project	The Salvation Army Warrnambool	Revision	-

Code	Image	Location	Description	Finish
S01		Façades - west and east. Refer to perspective TP011,12 and 13	Item: Salvation Army Shield Size: 1500mmH x 660mmW Fixing: Shield to be direct fixed to façade tiling.	Vinyl on aluminum backing Colour: R230/G50/B65 Web #e63241 C0/M93/Y79/K0 Pantone 185C
S02	THE SALVATION ARMY		Item: Building text Text height: 250mm Text: "The Salvation Army" Location: East and west façades. Fixing: metal standoffs at back of lettering fixed to façade system	Brass Provide clear coat protection to prevent oxidation.
S03		Mortlake Road façade. Refer to perspective TP011,12 and 13	Item: Façade cross 75mm PFC, LED to be mounted in flange for back lighting. Size: 3000mmH x 1500mmW Fixing: Cross fixed to structural steel outriggers by engineers. Light output: 7200lm	 PC1: Item: External Power Coat – Dulux Duralloy Colour: Classic Cream Code: 26020955 Finish: Satin

MORTLAKE ROAD



- General Notes**
- Town Planning Landscape Notes - General Construction
 - These notes are to read as a general guide for implementation of the landscape plan. This drawing is not for construction and is to be used for Town Planning purposes only. This final locations of all services and other assets may not be known at the town planning stage and the landscape plan may need to be revised to respond to building permit civil and architectural plans.
 - Demolition: Vegetation to be removed shall be mulched for re-use on the site. Strip and stockpile existing site topsoil prior to building works commencing and re-use in the landscape.
 - Pavement: Consider using recycled concrete aggregate for sub grade material. Drain pavements to garden beds (install sub surface drains in garden beds in poor draining soils where logical).
 - Weed Control: All areas shown on the drawings as mulched planting bed, grassed areas and trees in grassed areas shall include a weed eradication programme using an approved non- residual contact herbicide (Glysophosphate) following the manufacturers specifications. Leave sprayed areas for a period of 10 days prior to disturbance and repeat for any weeds still alive.
 - Landscape Set Out: Install edging between all lawn areas and garden beds - type and location as shown in the drawings. The contractor is solely responsible for locating, avoiding and protection of all services on and associated with the site. Dial before you dig - Telephone No; 1100
 - Sub-soil Preparation for Planting:
 - Sub-surface Drainage: Install sub-surface drainage which discharges to stormwater or soakage pits for any garden bed or grassed area that is poorly drained.
 - Sub-soil Ripping: For garden bed areas and advanced trees, rip to depths shown in the planting details. Mark location of all underground services prior to commencing ripping operations.
 - Sub-soil Additives: Contact your local nursery to obtain advice on additives to adjust the pH level to the desired range of pH 5.5 to 7.0. Some plants tolerate high or low pH levels. If soil is heavy yellow clay, add gypsum at the rate of 1.5 - 2kg/m2 for garden beds and 1.5 kg/m2 for lawns. In very dry or hydrophobic soils a soil wetting agent shall be added.
 - Rotary Cultivation: After application of soil additives, cultivate plant bed and lawn areas to depths shown on planting plan so as to eliminate compaction and to mix sub-soil and soil additives.
 - Topsolling:
 - Supply: Stripe stripped topsoil shall be used where possible and improved so as to meet the specifications for imported topsoil blends in AS 4419-2003. All topsoil to meet this standard.
 - Installation: Spread topsoil as per detailed drawing.
 - Mulching:
 - Supply: Wood to AS 4454-1999 or inorganic as per drawings or inflammable when WMO.
 - Installation: Spread over all garden beds to max consolidated depth as per detail.
 - Planting of Mulched Beds & Advanced Trees:
 - Supply: Trees to comply with Natspec Purchasing of Landscape Trees - A Field Guide to Assessing Tree Quality. Shrubs shall demonstrate a large, well developed and healthy fibrous roots with repeated and sequential division and no evidence of root cut, restriction or damage.
 - Installation: Set out plants in accordance with the drawings. Water plants prior to planting and when planted at a rate of: Tubes & 140mm pots > 5 lt; 200- 300mm pots > 10 lt; 300mm + >30 Lt. Climbers require a wire of trellis climbing frame.
 - Planting of Grassed Areas:
 - Supply: Install low water use grass such as Palmetto or Sir Walter Buffalo. Use NPK 10-4-5 + trace elements lawn starter.
 - Installation: Following preparation and topsolling, re-grade to provide smooth contours and to eliminate soil clods. Apply turf roll as per manufacturers instructions. Keep continually moist until established.
 - Irrigation: Install a programmable sub-surface drip irrigation system activated by a soil moisture probe to all mulched garden beds areas and for trees in pavement, designed, installed and supplied to the relevant Australian Standards and Codes and used in accordance with current water restrictions. If grassed areas are to be irrigated, they shall be on separate zones to the mulched beds and preferably sub-surface drip.

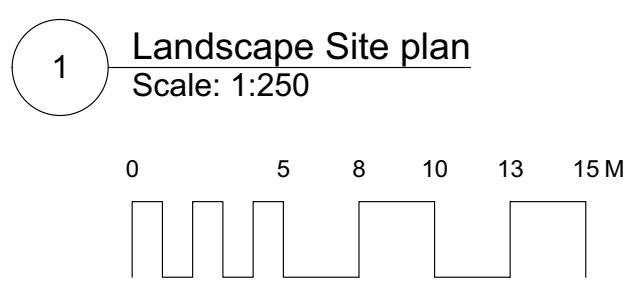
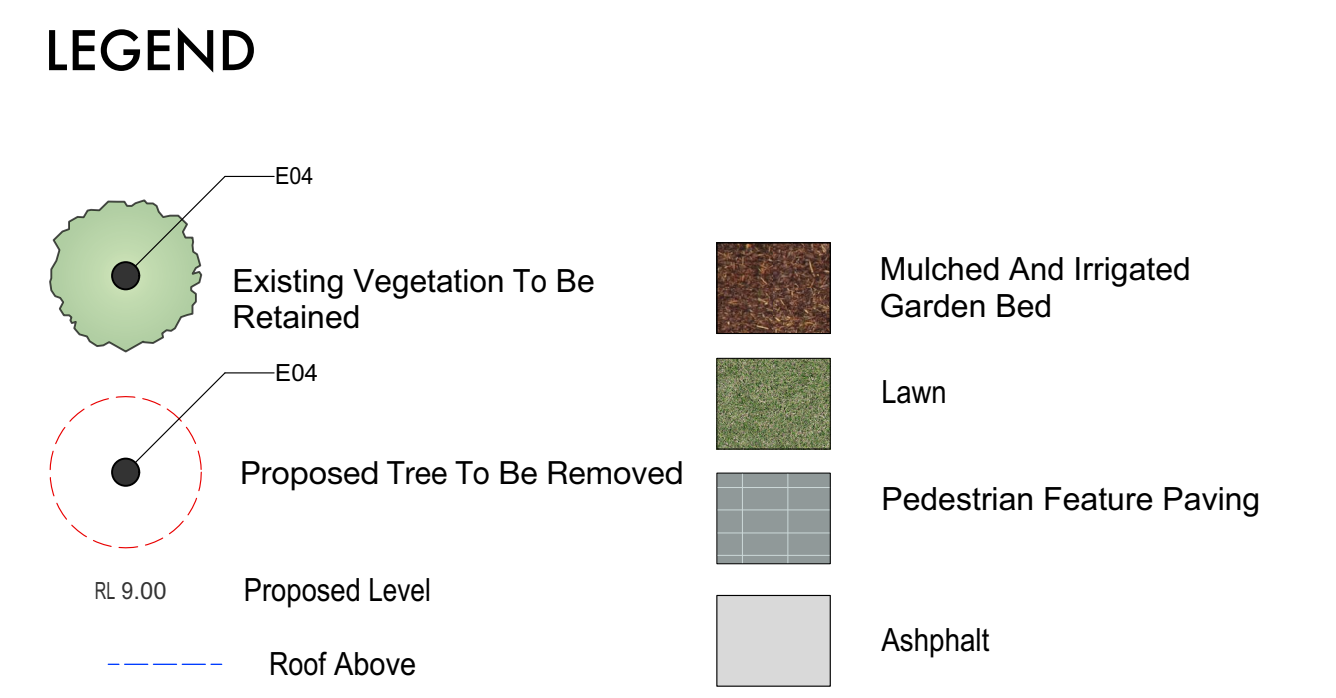
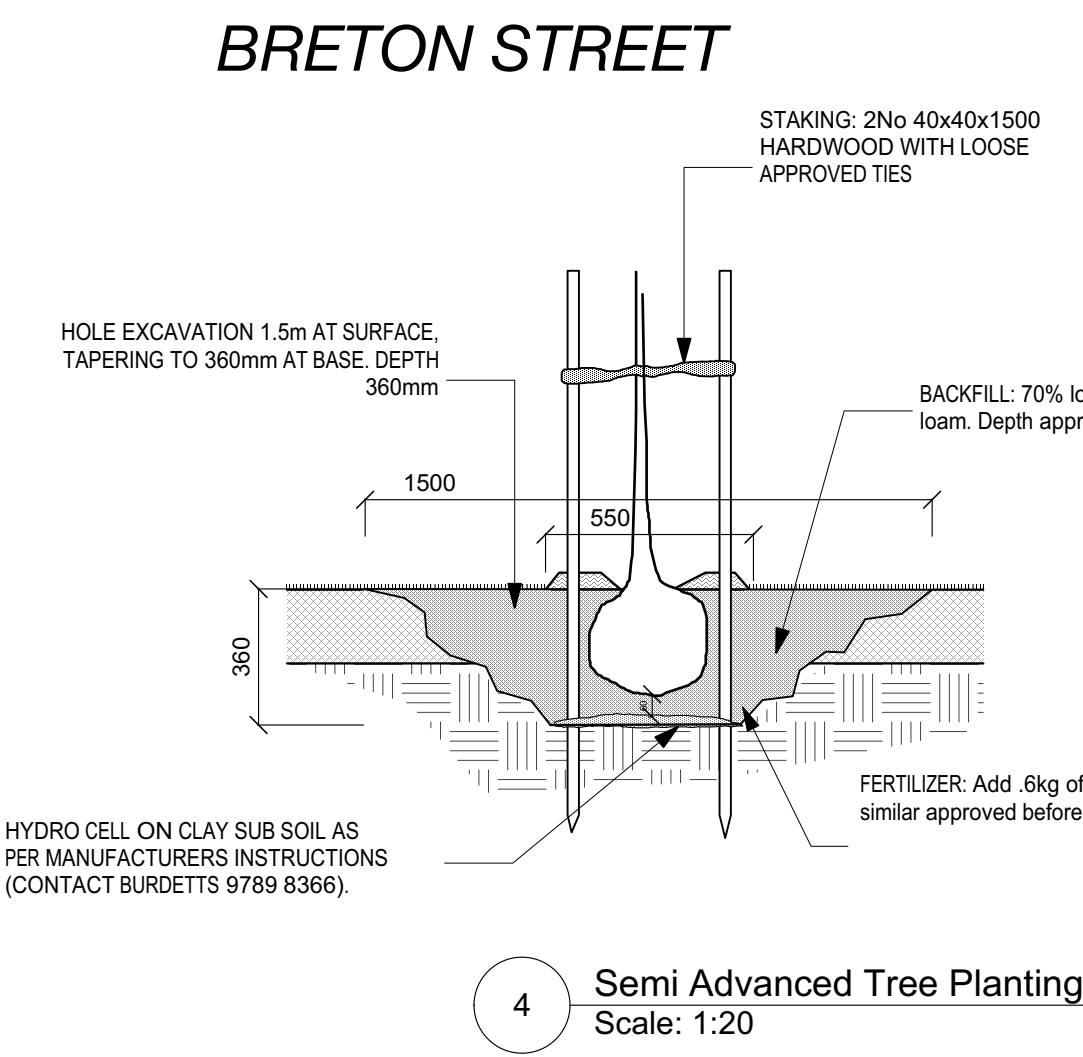
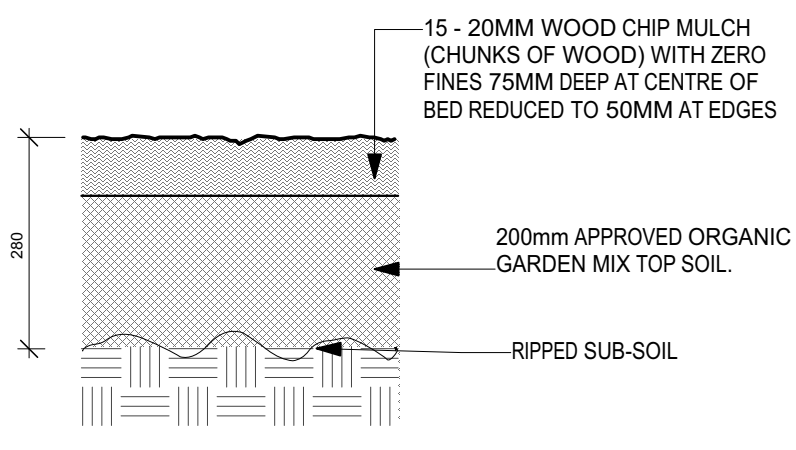
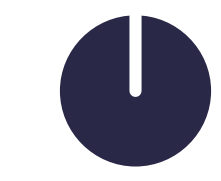


Image	ID	Qty	Common Name	Botanical Name	Scheduled Size	Mature Height	Mature Spread
Trees							
	AcaiaM	18	Blackwood	Acacia melanoxylon	1.5m Ht 45 L	5 - 10m	3.5 - 6m
Shrubs							
	CallistBJ	103	Weeping Bottlebrush	Callistemon viminalis 'Better John'	200mm Pot	0.6 - 1.2m	.9m
	Cal	136	White Correa	Correa alba	200mm Pot	0.9 - 1.5m	0.9 - 1.2m
	San	102	Straight and Narrow	Syzygium australe 'SAN01'	35 Litre	5m	1m
Ground Covers							
	Car	47	Pig Face	Carpobrotus rossii	150mm Pot	.1-.2m	2m
Grasses							
	Lio	135	Spiny-headed Mat-Rush	Lomandra longifolia	150mm Pot	0.75 - 0.9m	0.9 - 1.2m
Climbers							
Succulent							
Total		541					



FOR TOWN PLANNING - 19/5/20



memLa

ISSUE	DATE	REVISION	PROJECT #
PROJECT	58-60 Mortlake Rd, Warrnambool		2430
CLIENT	TSA	DATE # 15-4-20	DWG # 1
DWG	LC01	SCALE	RPM
MEMLA pty ltd www.memla.net e: matthew@memla.net		Shop1/655 Nepean Highway, Brighton East, Vic. 3187 p: (03) 8060 6813 m: 0414346117	

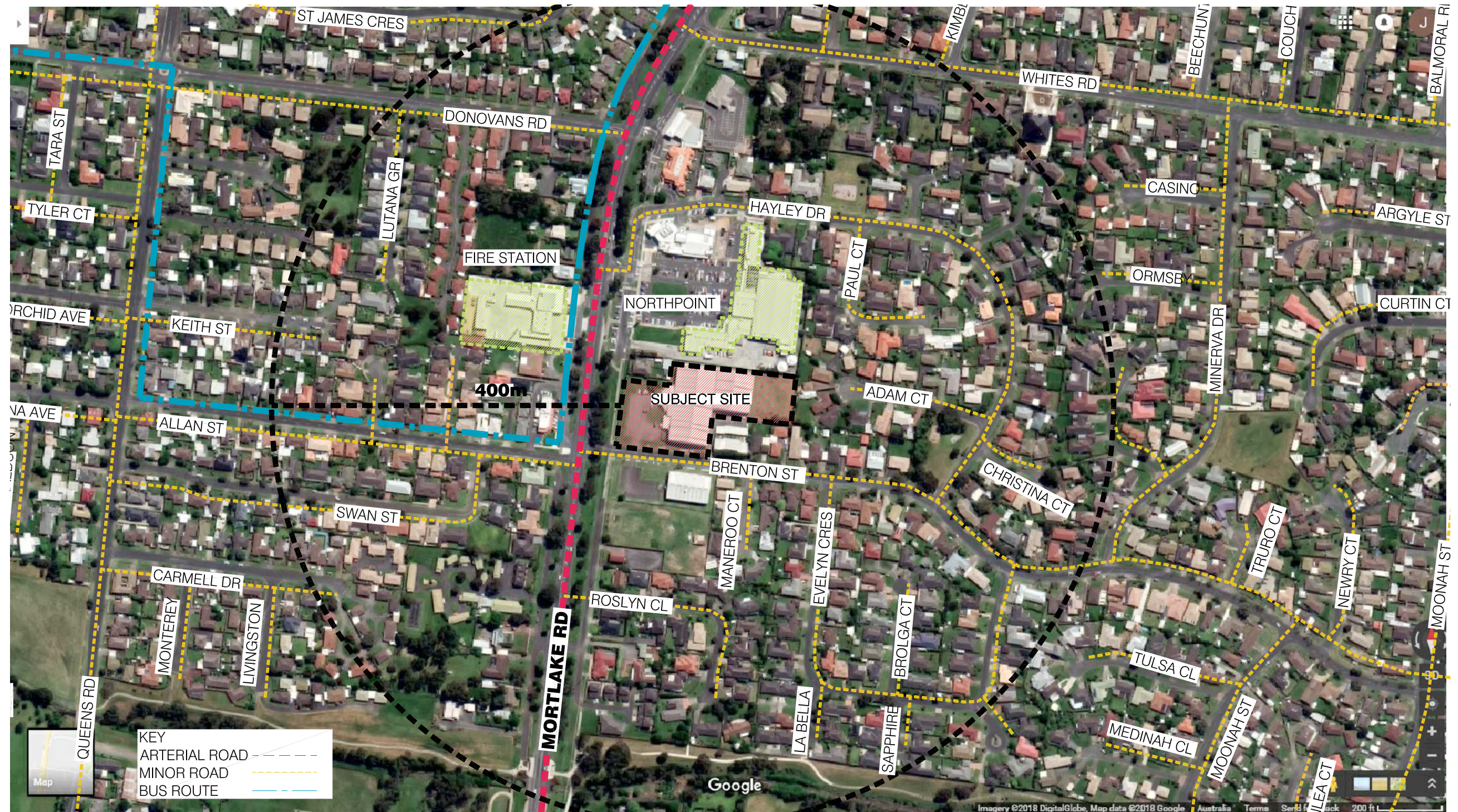
MG494
ZONE 54



LEGEND

- TREE
- FIRE HYDRANT
- DRAINAGE PIT
- GRATED PIT
- ⊕ LIGHT POLE
- ROUND POST
- ⊗ KIOSK
- ⊙ GAS METER
- TELSTRA PIT
- ⊕ POWER POLE
- STOP VALVE
- SEWER PIT
- ⊙ WATER METER
- GATE
- TITLE/LOT BOUNDARY
- FENCE
- O. CONC. BLOCK
- TOE OF BANK
- TOP OF BANK
- DRAINAGE PIT
- RUBBISH/ROCKS
- BUILDING
- RENDERED
- EDGE OF BITUMEN
- CONCRETE PATH
- FENCE
- BACK OF KERB
- INVERT OF KERB
- PAVED PATH
- VERANDAH

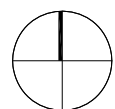
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LEVEL DATUM IS PM 391 RL 8.290 AHD CONTOUR INTERVAL IS 0.2m DATE OF SURVEY: 09/07/18 LEVELS SHOWN THUS ARE TO A.H.D.		SALVATION ARMY AUSTRALIA 60 MORTLAKE ROAD, WARRNAMBOOL PS402585C Lot 9	
BRAYLEY & HAYES LAND & ENGINEERING SURVEYORS 85 KENNEDY STREET, HAMILTON, 3300 PHONE: (03) 5571 9171 EMAIL: admin@brayleyandhayes.com.au		ORIGINAL SCALE 1:250	SHEET SIZE A1
SURVEYORS REF. 18033		SHEET 1 OF 1 SHEET	
SCALE 2.5 0 5 10 LENGTHS ARE IN METRES		LICENSED SURVEYOR DATE: 10th. July 2018	



Neighborhood Plan

58-60 Mortlake Rd, Warrnambool VIC 3280

JOB NO: 14054 TP01



DATE: 18.05.20
DRAWN BY: JM1
SCALE @ A1: 1:2000
SCALE @ A3: 1:4000
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Context Plan







58-60 Mortlake Rd, Warrnambool VIC 3280

JOB NO. 14054 TP02



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 REVISION: A

LEGEND

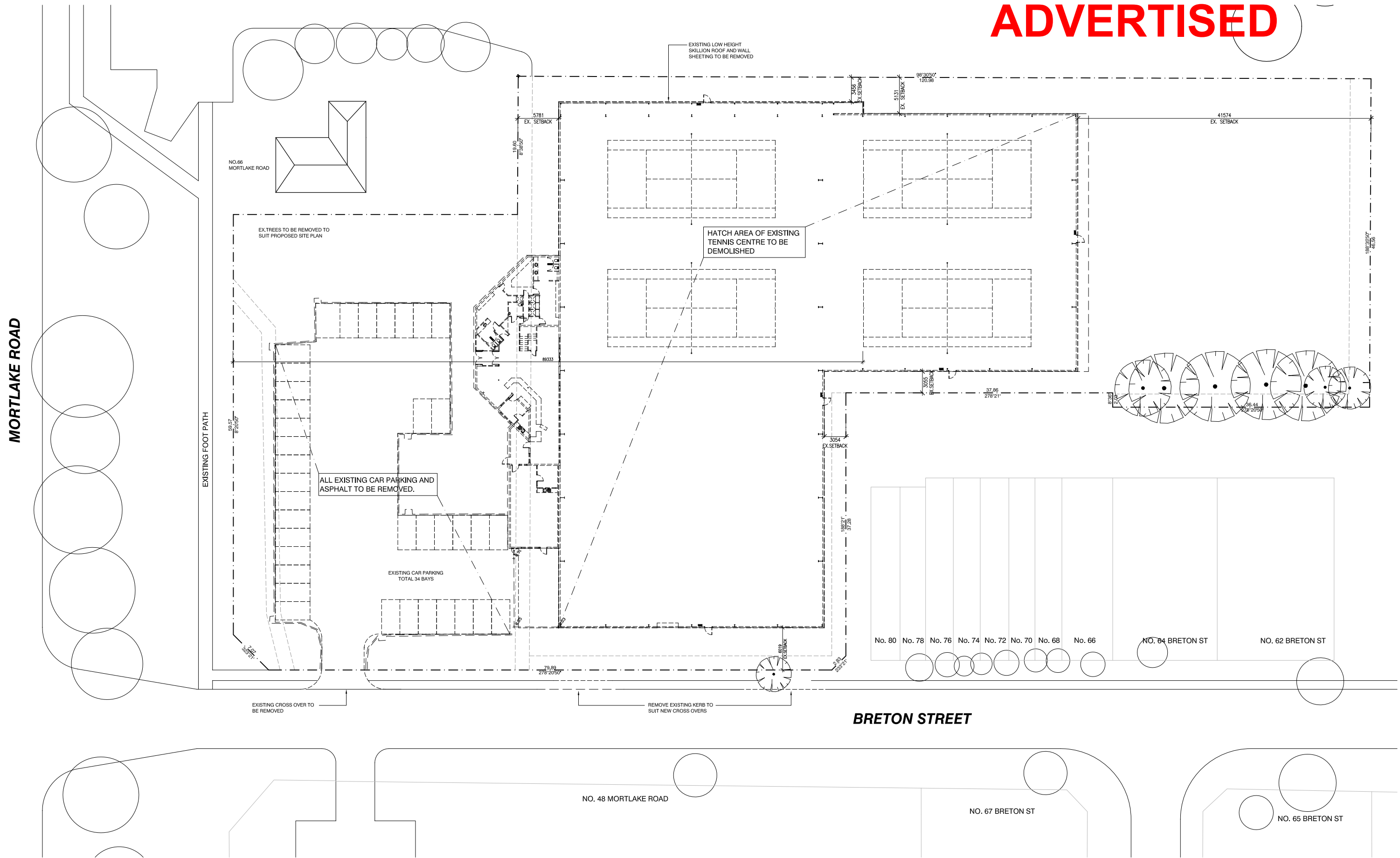
 RESIDENTIAL	 COMMERCIAL	 GREEN SPACE
 FIRE STATION	 MOTEL	 BUS STOP

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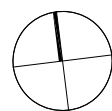
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Existing Site Plan

58-60 Mortlake Rd, Warrnambool VIC 3280

JOB NO: 14054 **TP03**



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SCALE @ A3: 1:500
REVISION: B

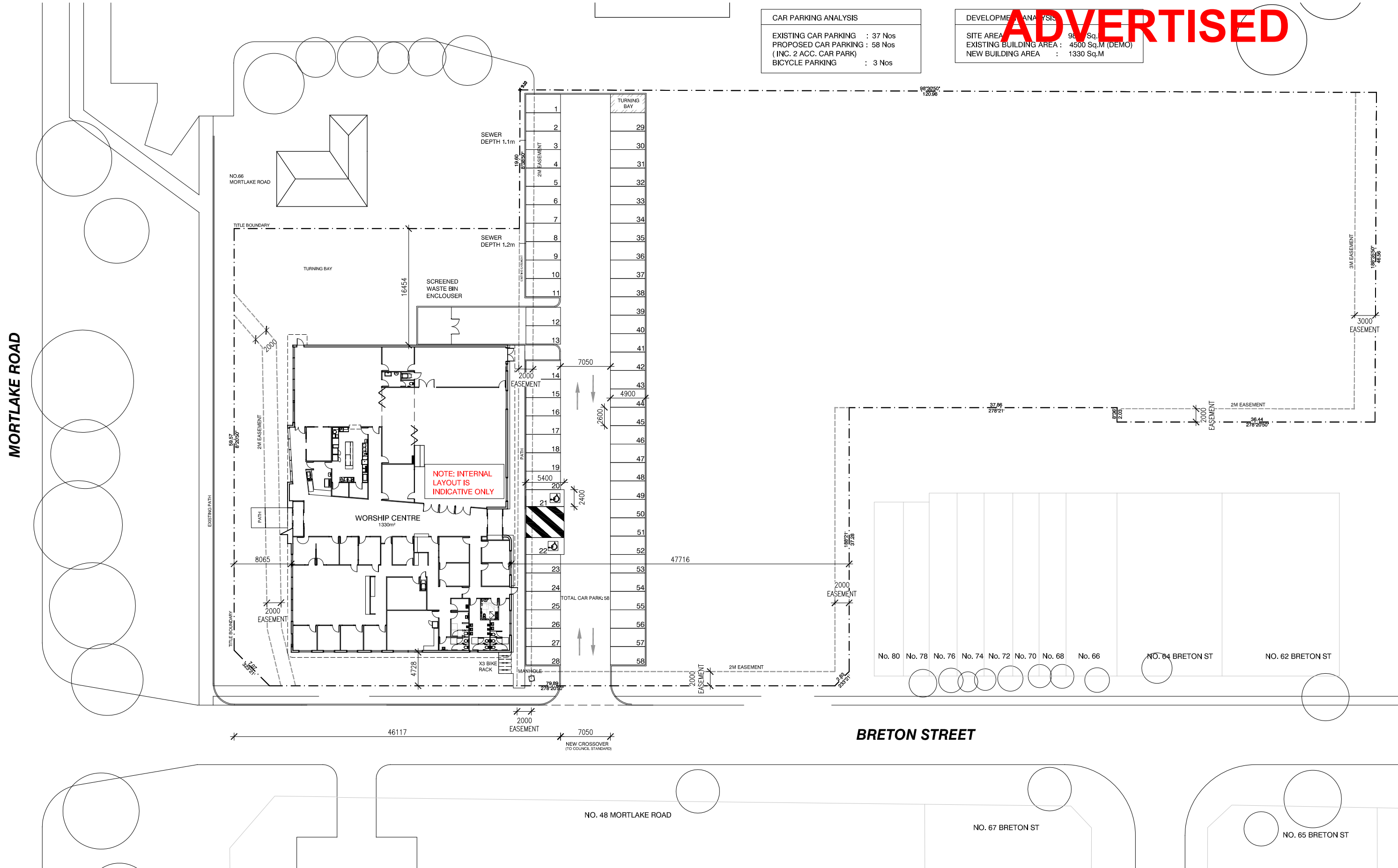
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CAR PARKING ANALYSIS	
EXISTING CAR PARKING	: 37 Nos
PROPOSED CAR PARKING	: 58 Nos (INC. 2 ACC. CAR PARK)
BICYCLE PARKING	: 3 Nos

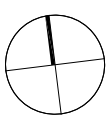
DEVELOPMENT ANALYSIS	
SITE AREA	: 967 Sq.M
EXISTING BUILDING AREA	: 4500 Sq.M (DEMO)
NEW BUILDING AREA	: 1330 Sq.M



Proposed Site Plan

58-60 Mortlake Rd, Warrnambool VIC 3280

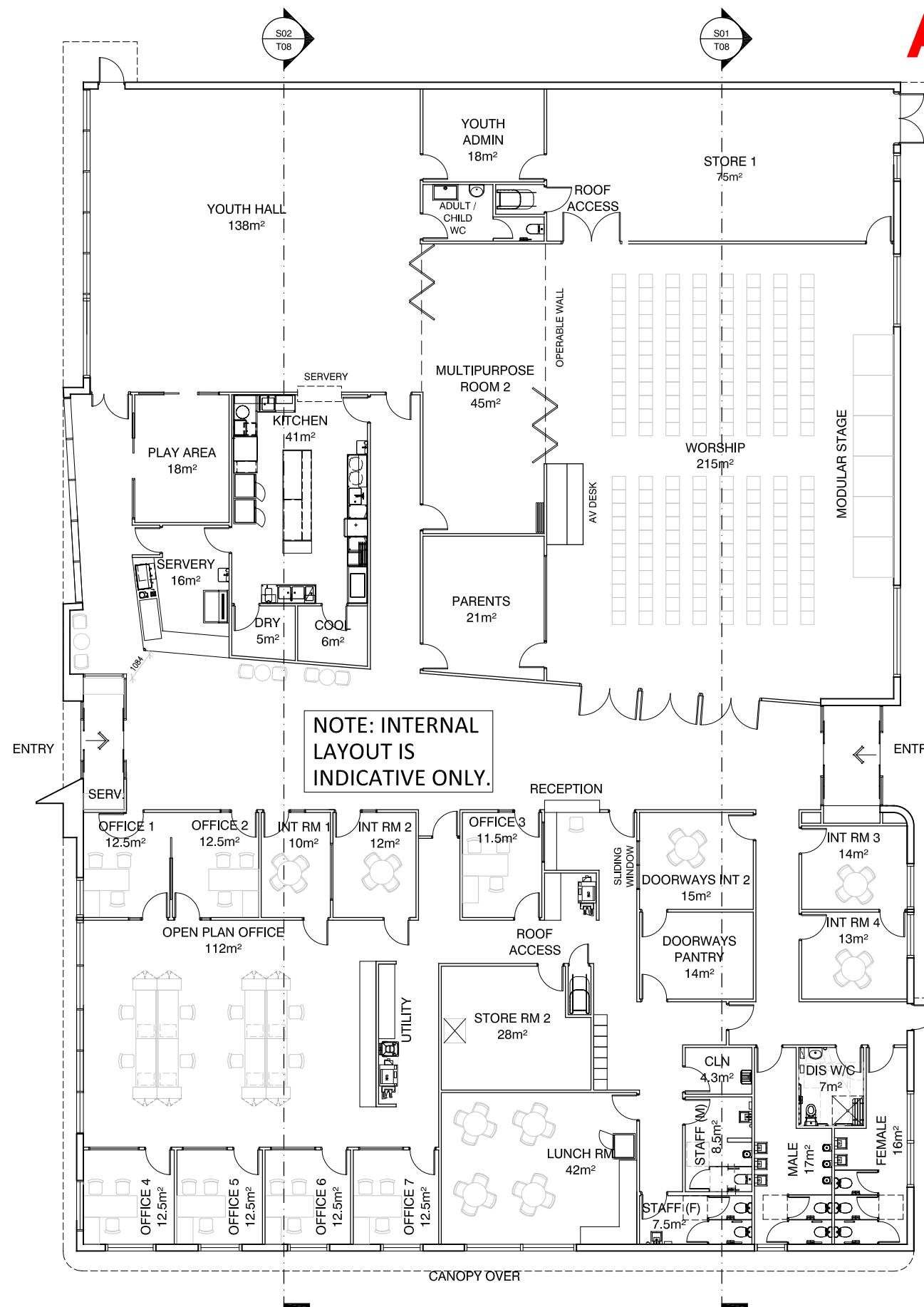
JOB NO: 14054 **TP06**



DATE: 20.05.20
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SCALE @ A1: 1:250
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REVISION: J

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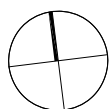
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Proposed Floor Plan

58-60 Mortlake Rd, Warrnambool VIC 3280

JOB NO: 14054 **TP07**

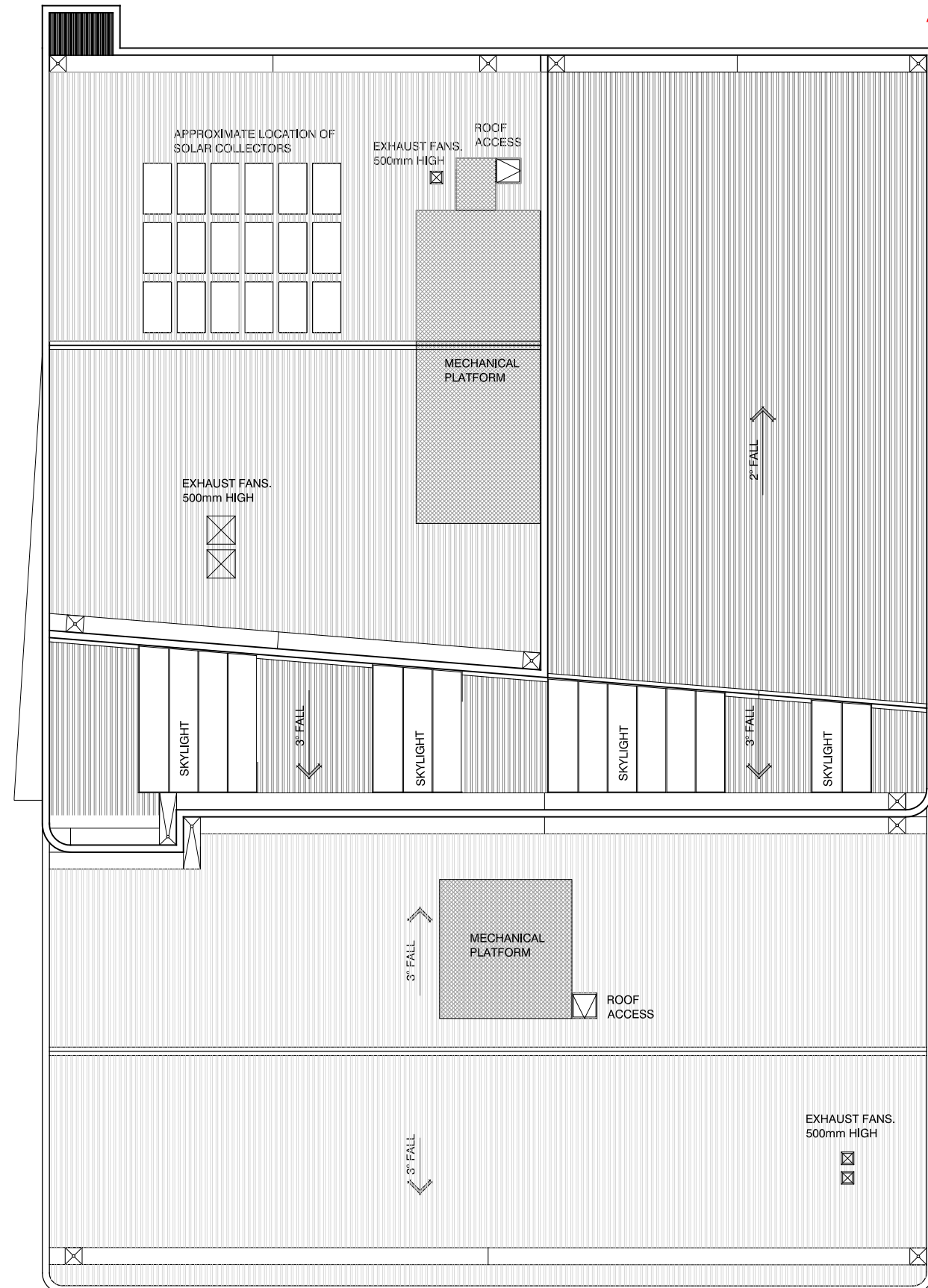


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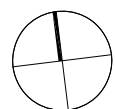
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Proposed Roof Plan

58-60 Mortlake Rd, Warrnambool VIC 3280

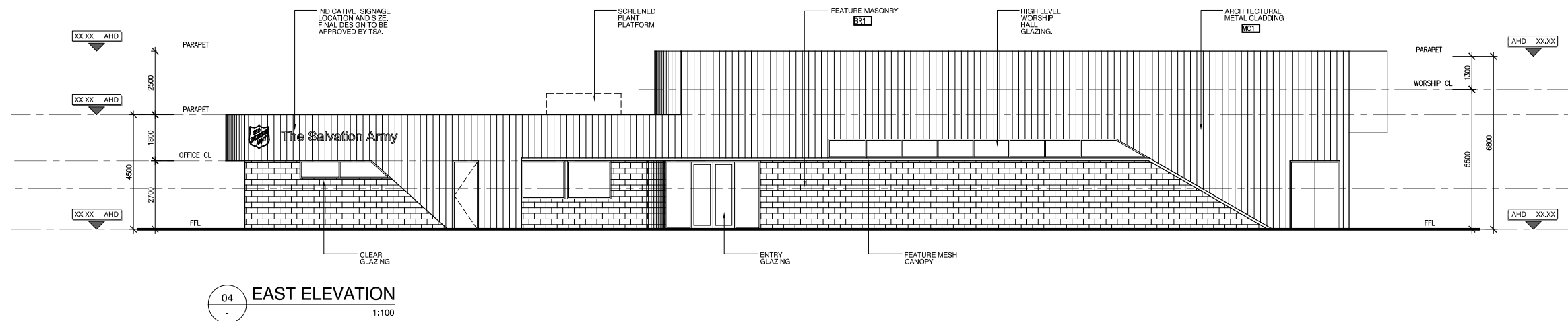
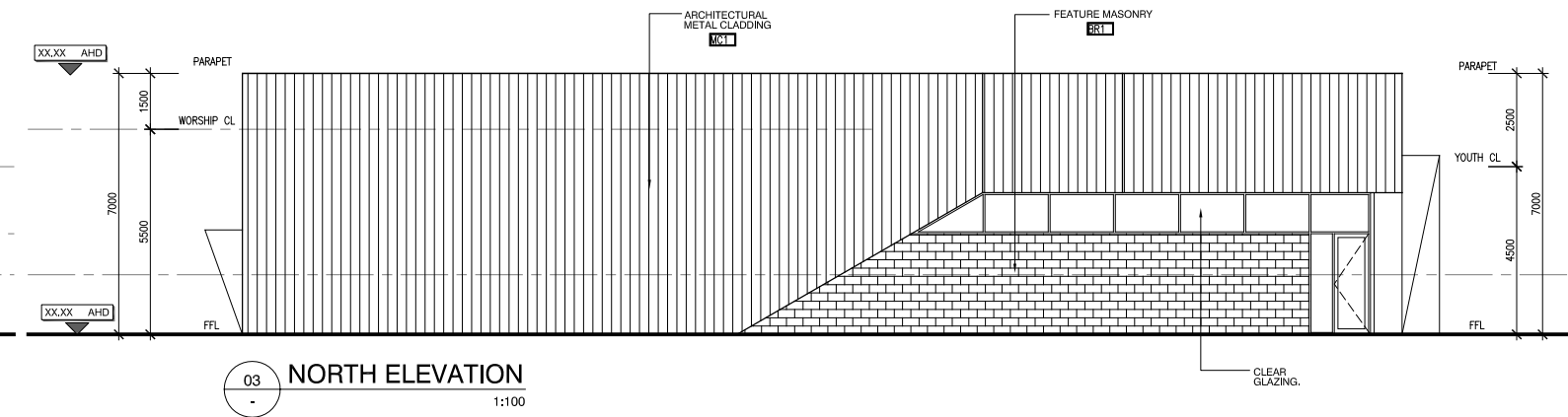
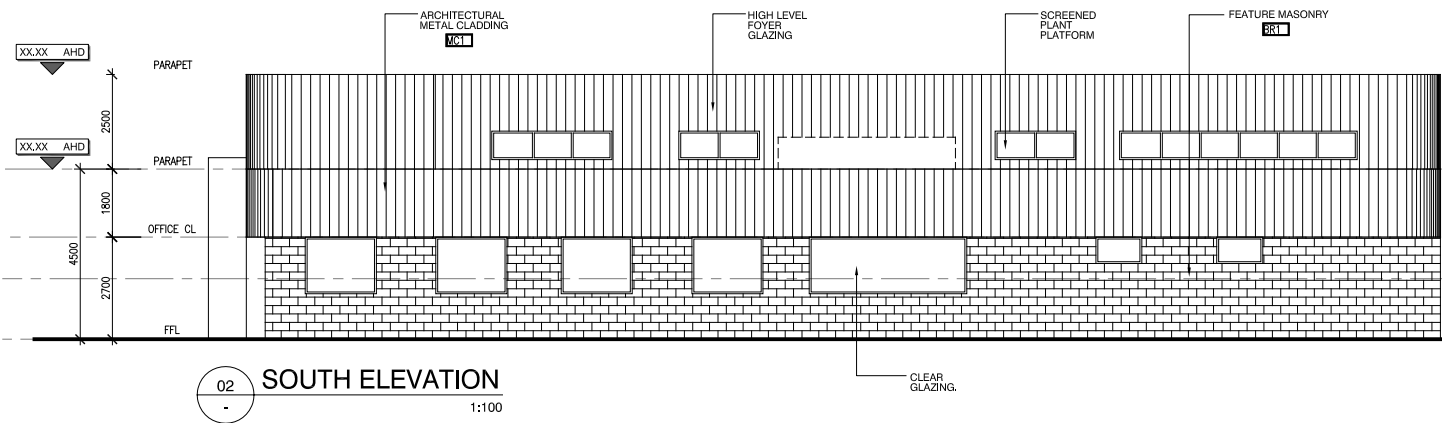
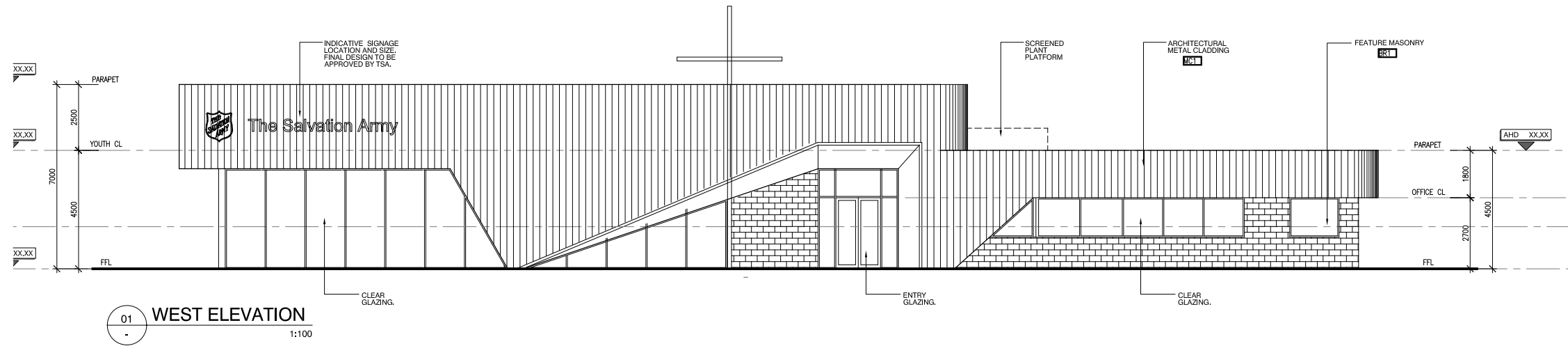
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Proposed Elevations

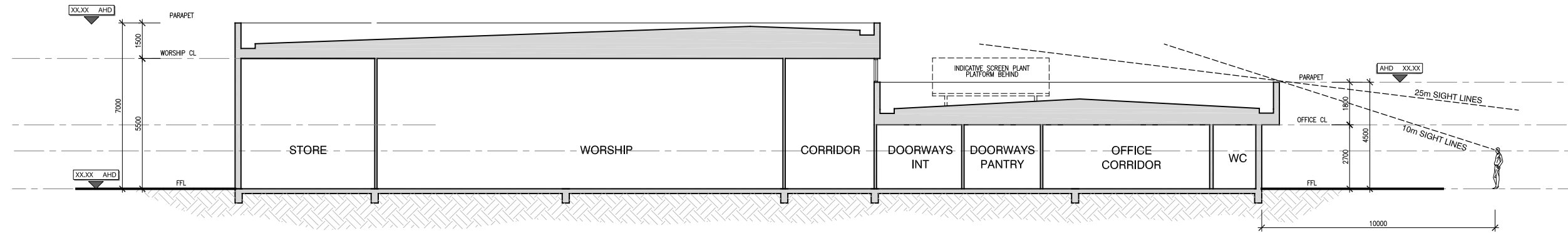
58-60 Mortlake Rd, Warrnambool VIC 3280

JOB NO: 14054 TP09

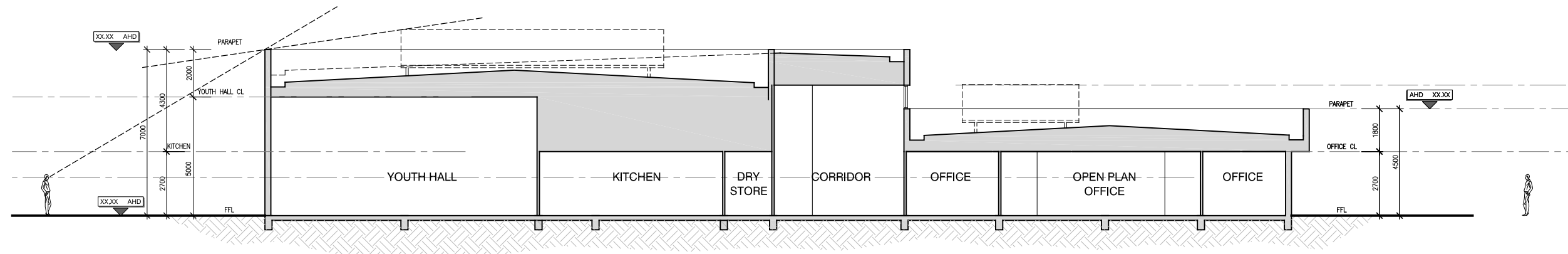
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DRAWN BY: JM1
SCALE @ A1: 1:100
SCALE @ A3: 1:200
REVISION: B

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S01 SECTION S01
1:100



S01 SECTION S02
1:100

Proposed Section

58-60 Mortlake Rd, Warrnambool VIC 3280

JOB NO: 14054 TP10

DATE: 18.05.20
DRAWN BY: JM1
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SCALE @ A3: 1:200
REVISION: B

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Perspective

58-60 Mortlake Rd, Warrnambool VIC 3280

JOB NO: 14054 **TP11**

DATE: 18.05.20
DRAWN BY: JM1
SCALE @ A1: 1:100
SCALE @ A3: 1:200
REVISION: A

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Perspective

58-60 Mortlake Rd, Warrnambool VIC 3280

JOB NO: 14054 **TP12**

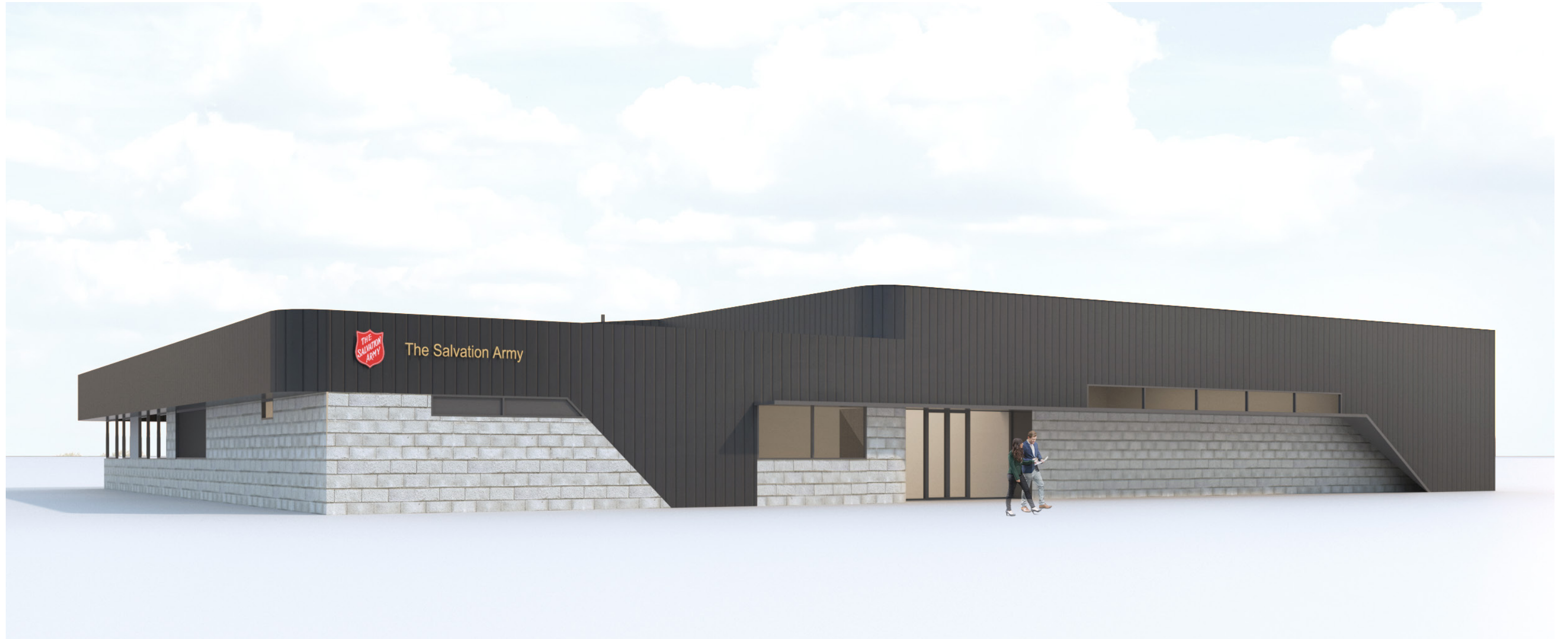
DATE: 18.05.20
DRAWN BY: JM1
SCALE @ A1: 1:100
SCALE @ A3: 1:200
REVISION: A

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Perspective

58-60 Mortlake Rd, Warrnambool VIC 3280

JOB NO: 14054 **TP13**

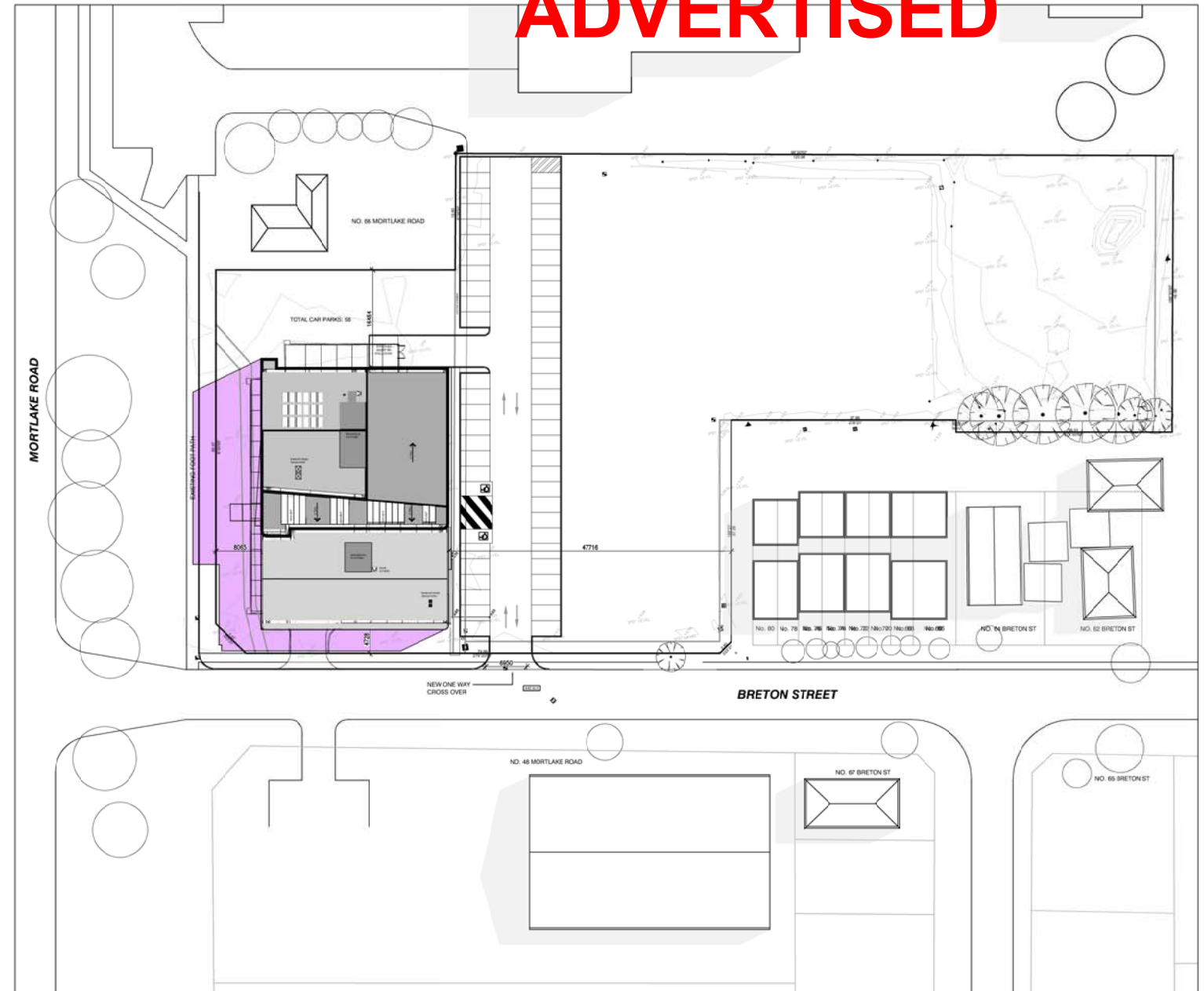
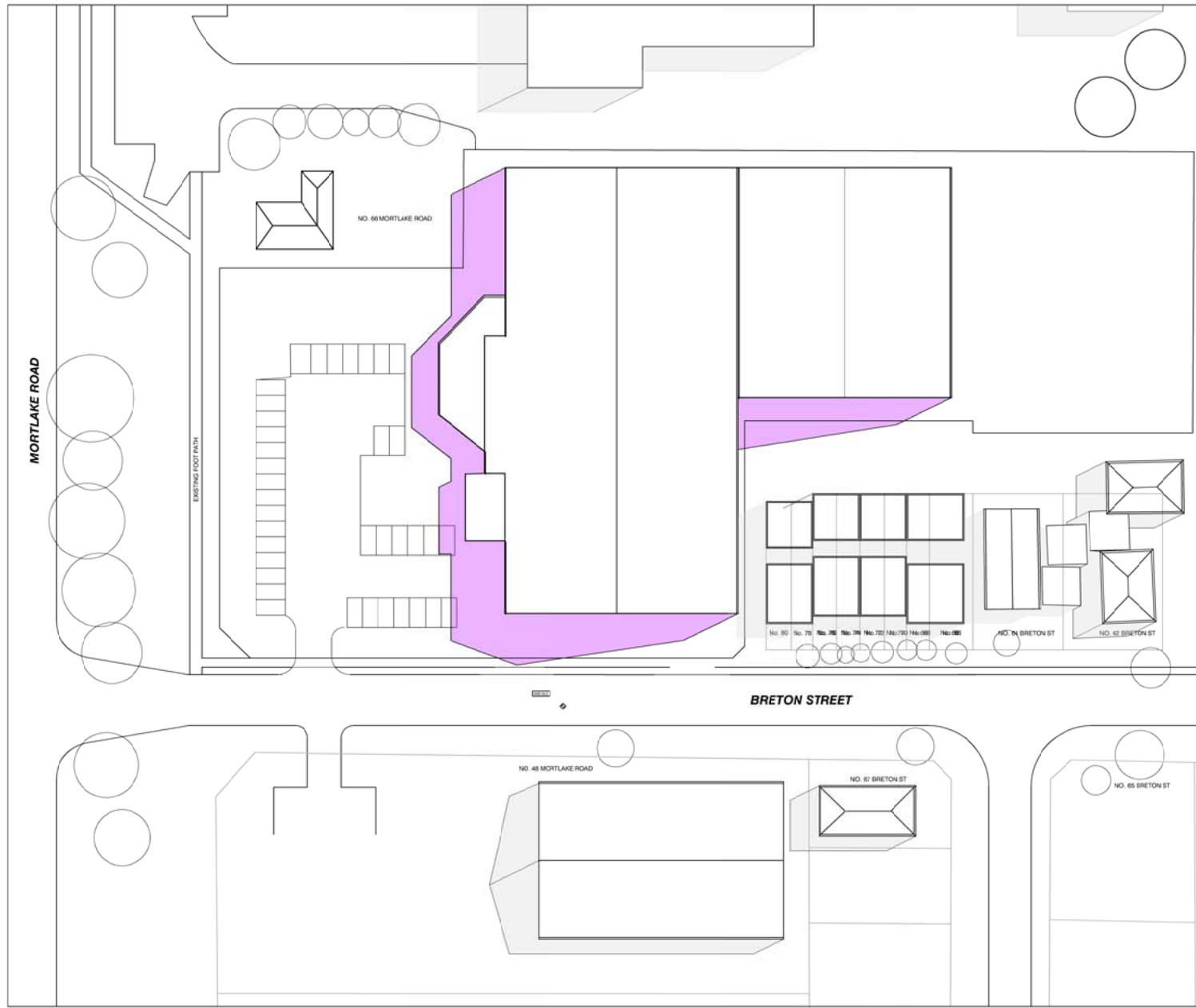
DATE: 18.05.20
DRAWN BY: JM1
SCALE @ A1: 1:100
SCALE @ A3: 1:200
REVISION: A

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01 EXISTING CONDITIONS 9:00
scale 1:500

01 PROPOSED SHADOW DIAGRAM 9:00
scale 1:500

March 21 - September 23 (Equinox)
Standard Time
Melbourne (Latitude 38.0° South)

Shadow Diagram

58 - 60 Mortlake Rd, Warrnambool VIC 3280

JOB NO. 14054 **TP14A**



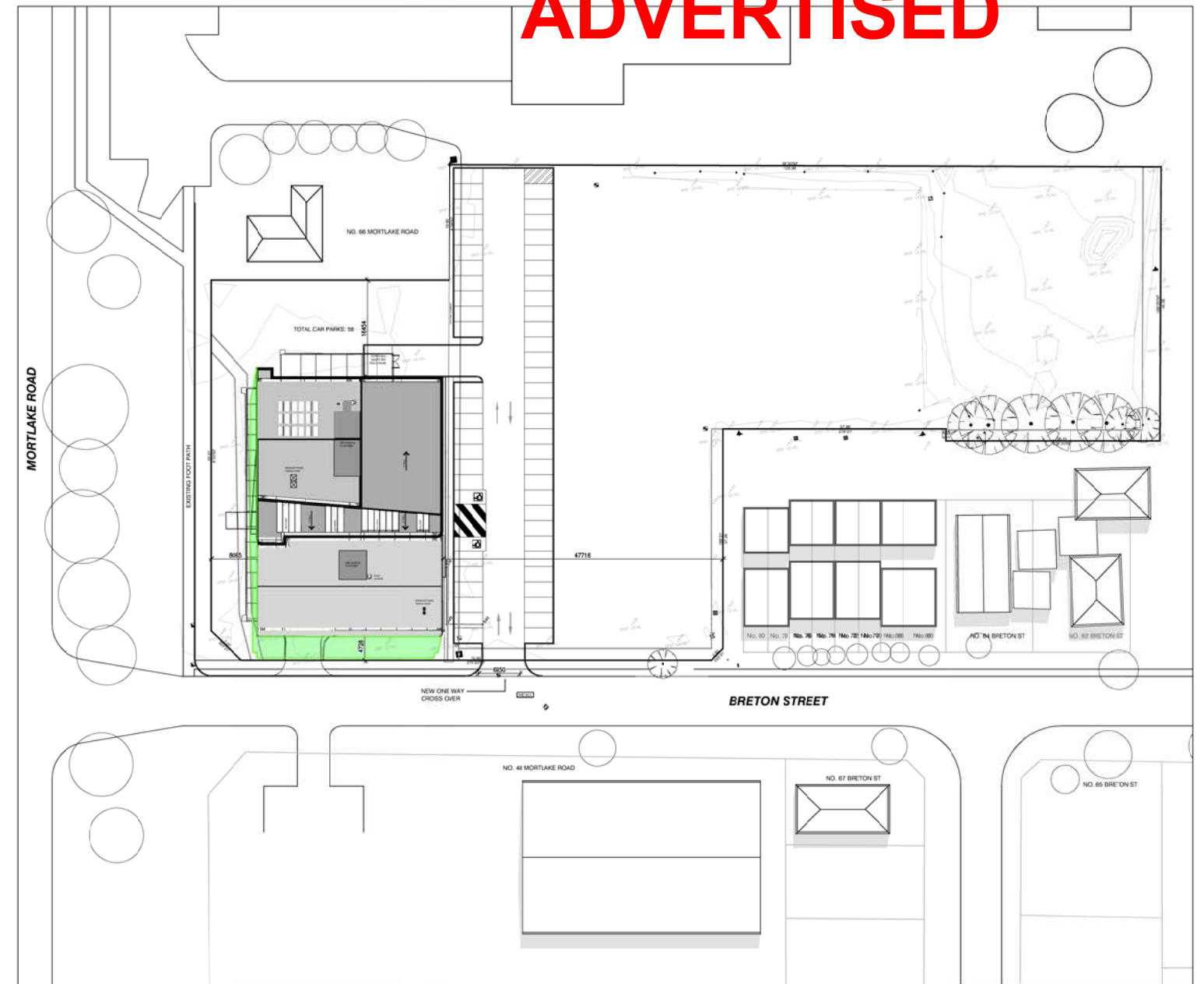
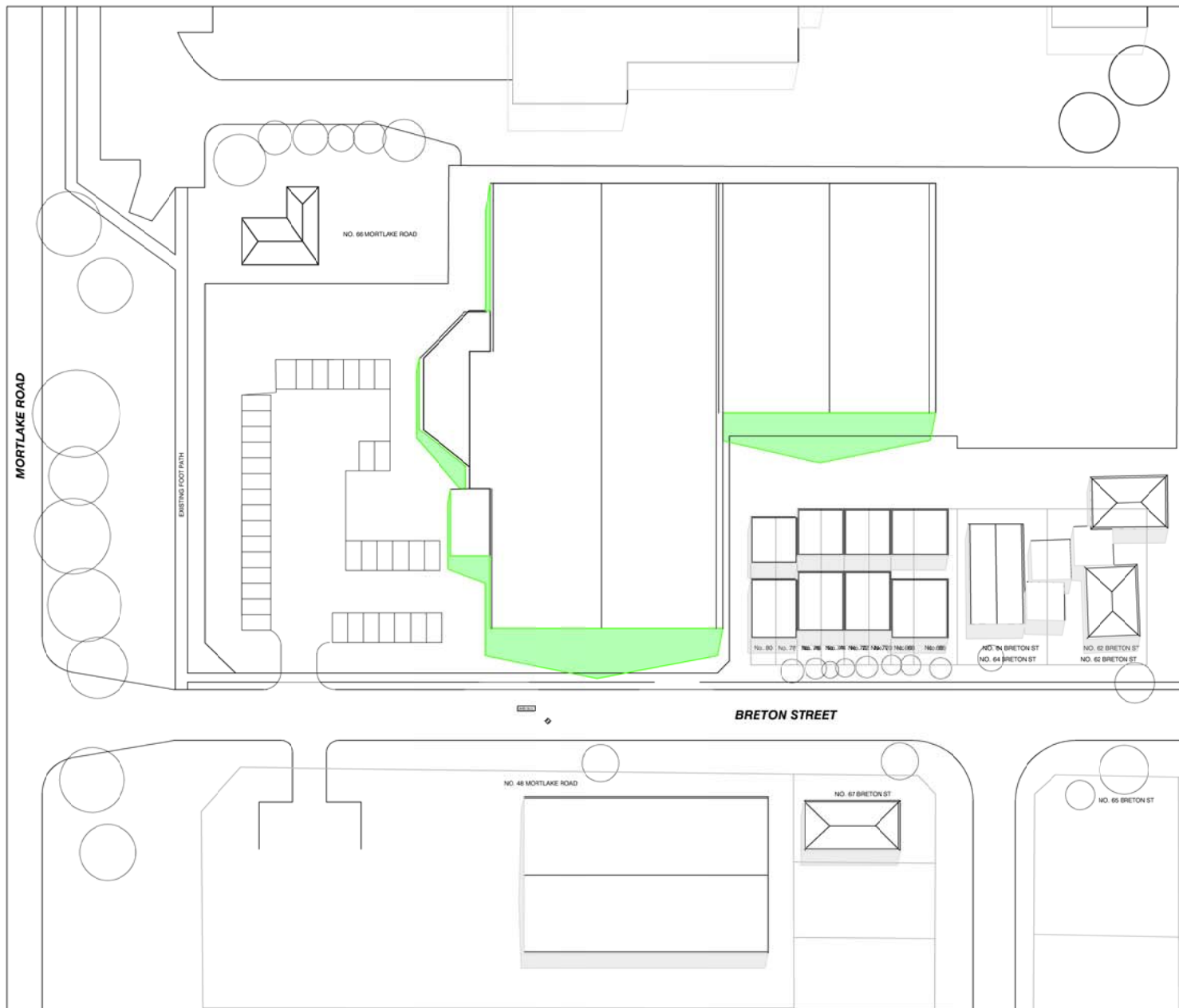
DATE: 19.05.20
DRAWN BY: DH
SCALE @ A1: 500
SCALE @ A3: 1000
REVISION: C

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ADVERTISED



01 EXISTING CONDITIONS 12:00
scale 1:500

01 PROPOSED SHADOW DIAGRAM 12:00
scale 1:500

March 21 - September 23 (Equinox)
Standard Time
Melbourne (Latitude 38.0° South)

Shadow Diagram

58 - 60 Mortlake Rd, Warrnambool VIC 3280

JOB NO. 14054 **TP14B**



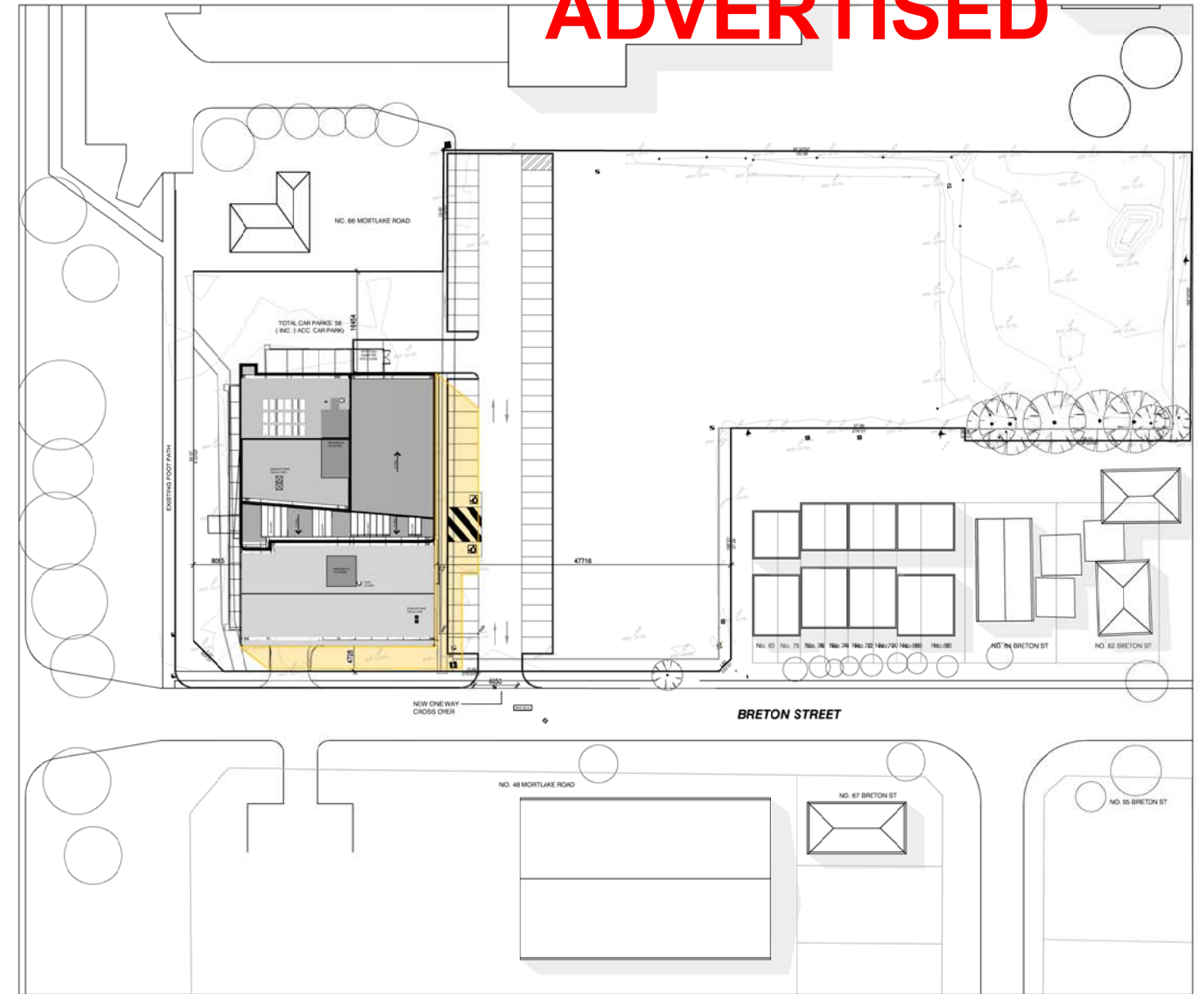
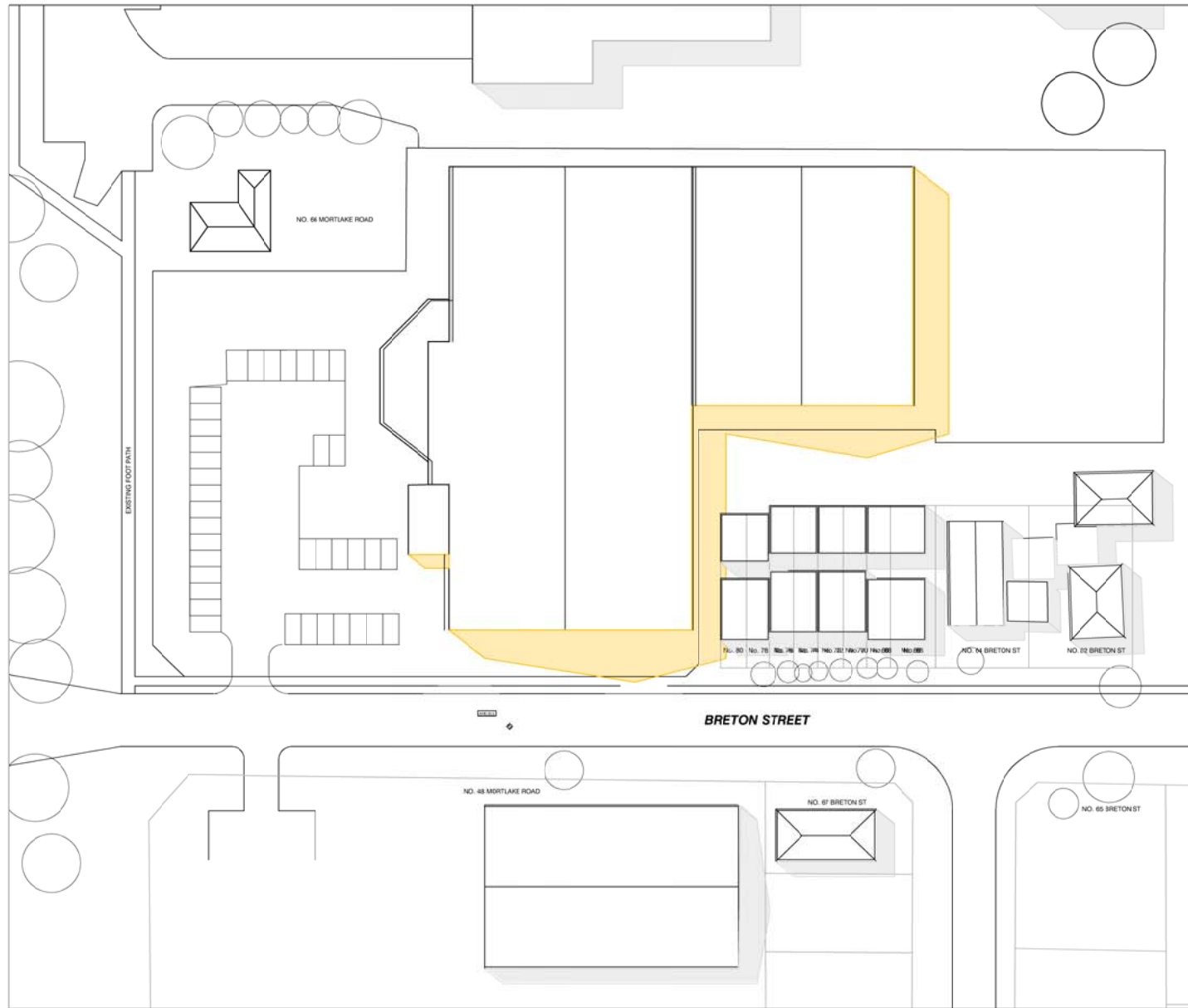
DATE: 19.05.20
DRAWN BY: DH
SCALE @ A1: 500
SCALE @ A3: 1000
REVISION: B

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ADVERTISED



01 EXISTING CONDITIONS 3:00
scale 1:500

01 PROPOSED SHADOW DIAGRAM 3:00
scale 1:500

March 21 - September 23 (Equinox)
Standard Time
Melbourne (Latitude 38.0° South)

Shadow Diagram

58 - 60 Mortlake Rd, Warrnambool VIC 3280

JOB NO. 14054 **TP14C**



DATE: 19.05.20
DRAWN BY: DH
SCALE @ A1: 500
SCALE @ A3: 1000
REVISION: C

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